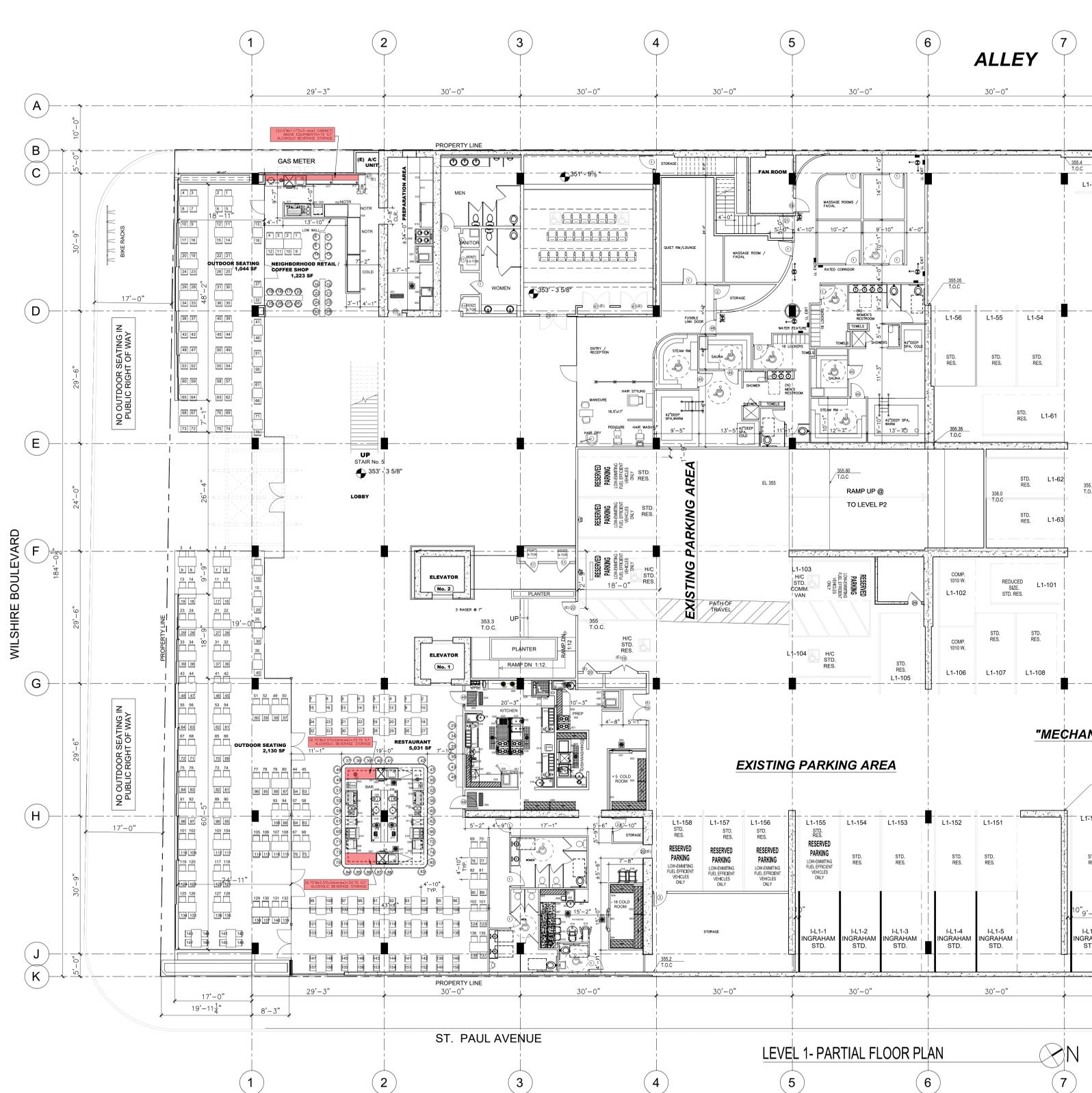


MCUB- TABLE OF ALCOHOL PERMITS- 1027 WILSHIRE BOULEVARD

	INDOOR		OUTDOOR		ALCOHOLIC BEVERAGE AREA	PERMIT TYPE
	AREA, SQUARE FEET	NO. OF SEATS	AREA, SQUARE FEET	NO. OF SEATS		
STREET LEVEL COFFEE SHOP/RETAIL	1,223	30	1,044	76	72 SF	BEER AND WINE, ON & OFF-SITE SALE
STREET LEVEL RESTAURANT	5,031	158	2,130	148	67.5 SF	FULL LINE ON-SITE SALE
TOTAL	6,254	188	3,174	224	139.5 SF	

REVISIONS BY:

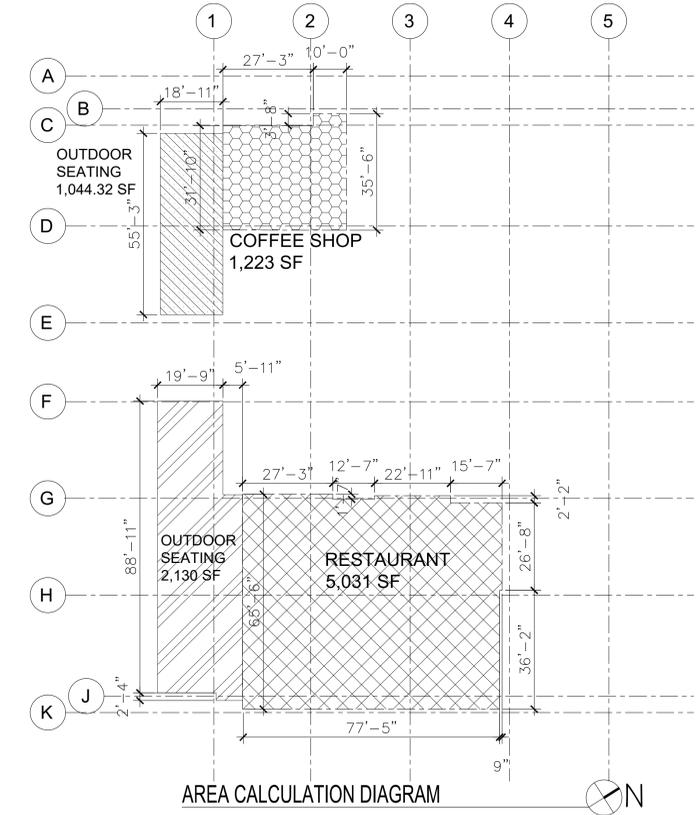


NEIGHBORHOOD RETAIL / COFFEE SHOP EQUIPMENT LIST

- CAFE**
- 001 - COFFEE BEAN GRINDER
 - 002 - COLD DISPLAY
 - 003 - NOTR DISPLAY
 - 004 - WORKING BENCH
 - 005 - COLD DISPLAY
 - 006 - WORKING BENCH
 - 007 - ICE MACHINE
 - 008 - FILTER COFFEE MACHINE
 - 009 - COFFEE BEAN GRINDER
 - 010 - ESPRESSO COFFEE MACHINE
 - 011 - BENCH TYPE REFRIGERATOR
 - 012 - DISHWASHER
 - 013 - SINGLE SINK UNIT
 - 014 - WORKING BENCH
 - 015 - TEA MACHINE
 - 016 - BLENDER
 - 017 - BACK BAR REFRIGERATOR- 48"Wx20"Dx34"H PREP
- PREP**
- 001 - INSECT KILLER 20m²
 - 002 - UPRIGHT REFRIGERATOR
 - 003 - SINGLE SINK UNIT
 - 004 - GARBAGE BIN
 - 005 - WORKING BENCH
 - 006 - OVEN BASE W/TRAY HOLDERS
 - 007 - ELECTRIC CONVECTION OVEN 10xGN
 - 008 - ELECTRIC INDUCTION COOKER
 - 009 - EXTRACTOR HOOD W/LIGHTNING
 - 010 - BENCH TYPE REFRIGERATOR
 - 011 - MAKE UP UNIT
 - 012 - WORKING BENCH
 - 013 - WALL CUPBOARD
 - 014 - FLOOR DRAIN 30x30cm

RESTAURANT EQUIPMENT LIST

- KITCHEN**
- 001 - HAND WASH SINK UNIT
 - 002 - GALOSH & BONE & MASK DISPENSER
 - 003 - WASH HOSE - 15M
 - 004 - HYGIENE MAT
 - 005 - INSECT KILLER 20m²
 - 006 - WORKING BENCH
 - 007 - HOT LAMP
 - 008 - WORKING BENCH
 - 009 - PIZZA OVEN
 - 010 - EXTRACTOR HOOD
 - 011 - WORKING BENCH
 - 012 - BENCH TYPE REFRIGERATOR
 - 013 - MAKE UP UNIT
 - 014 - WORKING BENCH
 - 015 - PANINI MACHINE
 - 016 - BENCH TYPE REFRIGERATOR
 - 017 - MAKE UP UNIT
 - 018 - SINGLE SINK UNIT
 - 019 - GARBAGE BIN
 - 020 - OVEN BASE W/TRAY HOLDERS
 - 021 - ELECTRIC CONVECTION OVEN 10xGN
 - 022 - EXTRACTOR HOOD
 - 023 - WORKING BENCH
 - 024 - WALL SHELF
 - 025 - WORKING BENCH
 - 026 - MICROWAVE OVEN
 - 027 - WORKING BENCH
 - 028 - SLICER
 - 029 - VEGETABLE PRECESSOR
 - 030 - KNIFE STERILIZER
 - 031 - BASE FREEZER W/4 DRAWERS
 - 032 - BASE REFRIGERATOR
 - 033 - ELECTRIC FRYER
 - 034 - BLANK UNIT
 - 035 - OPEN GAS BURNER
 - 036 - GRILL
 - 037 - ELECTRIC PASTA COOKER
 - 038 - EXTRACTOR HOOD
 - 039 - FLOOR DRAIN 120x30cm
 - 040 - STORAGE SHELF
- DISHWASHING**
- 001 - SORTING TABLE W/SINK BOWL
 - 002 - GARBAGE BIN
 - 003 - DISHWASHER INLET TABLE W/BIG BOWL
 - 004 - PRE WASH SPRAY UNIT
 - 005 - HOOD TYPE DISHWASHER
 - 006 - EXTRACTOR HOOD
 - 007 - DISHWASHER OUTLET TABLE
 - 008 - STORAGE SHELF
 - 009 - FLOOR DRAIN 120x30cm
- PREP**
- 001 - OPEN GAS BURNER
 - 002 - EXTRACTOR HOOD
 - 003 - WORKING BENCH
 - 004 - WALL SHELF
 - 005 - SINGLE SINK UNIT
 - 006 - GARBAGE BIN
 - 007 - OVEN BASE W/TRAY HOLDERS
 - 008 - ELECTRIC CONVECTION OVEN 10xGN
 - 009 - EXTRACTOR HOOD
 - 010 - FLOOR DRAIN 30x30cm
- COLD ROOM**
- 001 - COLD ROOM +4°C
 - 002 - STORAGE SHELF
 - 003 - STORAGE SHELF
 - 004 - FLOOR DRAIN 30x30cm
- BAR**
- 001 - WORKING BENCH
 - 002 - BLENDER
 - 003 - WORKING BENCH
 - 004 - GLASS WASHER SPRAY UNIT
 - 005 - DISHWASHER
 - 006 - SINGLE SINK UNIT
 - 007 - WORKING BENCH
 - 008 - WORKING BENCH
 - 009 - ICE MACHINE
 - 010 - COCKTAIL UNIT
 - 011 - WORKING BENCH / DRIVER
 - 012 - BENCH TYPE REFRIGERATOR
 - 013 - COFFEE BEAN GRINDER
 - 014 - FILTER COFFEE MACHINE
 - 015 - ESPRESSO COFFEE MACHINE
 - 016 - BACK BAR REFRIGERATOR
 - 017 - TURKISH COFFEE MACHINE
 - 018 - JUICE MACHINE
 - 019 - TEA MACHINE
 - 020 - SOLID FRUIT PRESS
 - 021 - FLOOR DRAIN 30x30cm



TENTEN LIVE/WORK
1027 WILSHIRE BOULEVARD LOS ANGELES, CA
LEVEL 1 - PARTIAL FLOOR PLAN



ba **bijan & associates** www.bijan.ca
architecture.planning.sustainable design.engineering.interior design
109 sierra street, el segundo, california 90245

MARCH 2020
date: MAR. 2020
scale: 3/32" = 1'
drawn:
job: 411AR390
sheet:

A2.01d

REVISIONS BY:	



- LEGEND:
- 1 EXISTING CONCRETE COLUMN
 - 2 EXISTING EXTERIOR WINDOW/GLASS DOOR
 - 3 EXISTING METAL ENTRY CANOPY
 - 4 EXISTING RAISED PLANTER BOX
 - 5 NEW CONCRETE CURB
 - 6 NEW CANOPY BEAM
 - 7 NEW FRAMELESS SLIDING GLASS PANELS
 - 8 NEW ALUMINUM SUNSHADE LOUVER- CRL AT710 SERIES CUSTOM TRELIS WITH T-BRACKET MOUNTING SYSTEMS, BLADES SHALL BE SILVER METALIC MODEL AXOBSM 8" AIRFOIL BLADE
 - 9 NEW VINYL SOLAR SHADE MOTORIZED RETRACTABLE SUNSHADE- CANOPY FABRIC SHALL BE EXTERIOR GRADE, CLASS A/ASTM E84, IN ACCORDANCE TO METHOD 1&2/NFPA 701 AND CSFM T19; FABRIC SHALL ALSO BE FLAME RETARDANT TO MEET CA. FIRE MARSHAL REQUIREMENTS, MODEL "SERGE FERRARI SATIN 502 VINYL (LEMON 502V2-50674C COLOR)" WITH THE USE OF STEEL TUBE FRAMES AS MANUFACTURED BY "EIDE INDUSTRIES, INC., www.eideindustries.com OR APPROVED EQUAL
 - 10 DECORATIVE METAL LATTICE

TENTEN LIVE/WORK
 1027 WILSHIRE BOULEVARD, LOS ANGELES, CA
 ELEVATION - OUTDOOR SEATING



bd bijan & associates
 www.bijan.io
 architecture, planning, sustainable design, engineering, interior design
 109 sierra street, el segundo, california 90245
 f 323.655.4404
 f 323.655.4499

date: MAR. 2020
 scale: 1/8"=1'
 drawn: SMR
 job: 411AR390
 sheet:

A4.00d



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number DIR-2020-3656-SPR
Env. Case Number ENV-2020-3657-EAF
Application Type
Case Filed With (Print Name) Date Filed

Application includes letter requesting:
[] Waived hearing [] Concurrent hearing [] Hearing not be scheduled on a specific date (e.g. vacation hold)
Related Case Number

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.
Detailed filing instructions are found on form CP-7810

1. PROJECT LOCATION

Street Address1 Unit/Space Number
Legal Description2 (Lot, Block, Tract)
Assessor Parcel Number Total Lot Area

2. PROJECT DESCRIPTION

Present Use
Proposed Use
Project Name (if applicable)
Describe in detail the characteristics, scope and/or operation of the proposed project

Additional information attached [] YES [] NO

Complete and check all that apply:

Existing Site Conditions

- [] Site is undeveloped or unimproved (i.e. vacant)
[] Site is located within 500 feet of a freeway or railroad
[] Site has existing buildings (provide copies of building permits)
[] Site is located within 500 feet of a sensitive use (e.g. school, park)
[] Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)
[] Site has special designation (e.g. National Historic Register, Survey LA)

1 Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org)

2 Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: _____square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing _____ - Demolish(ed)³ _____ + Adding _____ = Total _____

Number of Affordable Units⁴ Existing _____ - Demolish(ed) _____ + Adding _____ = Total _____

Number of Market Rate Units Existing _____ - Demolish(ed) _____ + Adding _____ = Total _____

Mixed Use Projects, Amount of Non-Residential Floor Area: _____square feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form to BOE? (required) YES NO

Is your project required to dedicate land to the public right-of-way? YES NO

If so, what is/are your dedication requirement(s)? _____ ft.

If you have dedication requirements on multiple streets, please indicate: _____

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Authorizing Code Section _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) _____

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. _____

Ordinance No.: _____

Condition compliance review

Clarification of Q (Qualified) classification

Modification of conditions

Clarification of D (Development Limitations) classification

Revision of approved plans

Amendment to T (Tentative) classification

Renewal of entitlement

Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

a. Specialized Requirement Form _____

b. Geographic Project Planning Referral _____

c. Citywide Design Guidelines Compliance Review Form _____

d. Affordable Housing Referral Form _____

e. Mello Form _____

f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form _____

g. HPOZ Authorization Form _____

h. Management Team Authorization _____

i. Expedite Fee Agreement _____

j. Department of Transportation (DOT) Referral Form _____

k. Preliminary Zoning Assessment Referral Form _____

l. SB330 Preliminary Application _____

m. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) _____

n. Order to Comply _____

o. Building Permits and Certificates of Occupancy _____

p. Hillside Referral Form (BOE) _____

q. Low Impact Development (LID) Referral Form (Storm water Mitigation) _____

r. SB330 Determination Letter from Housing and Community Investment Department _____

s. Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant

Name (if different from applicant) _____

Address _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Agent/Representative name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip: _____

Telephone _____ E-mail: _____

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____

Name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Primary Contact for Project Information Owner Applicant
(select only one) Agent/Representative Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

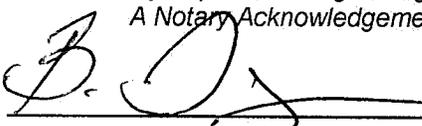
PROPERTY OWNER

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized to file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature 

Date 4-16-20

Print Name Bryan Domyan

Signature _____

Date _____

Print Name _____

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 4-16-20 before me, BRYAN CORRADO, NOTARY PUBLIC
(Insert Name of Notary Public and Title)

personally appeared BRYAN Domyan, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Signature

(Seal)



APPLICANT

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: _____

Date: _____

Print Name: _____



APPLICATIONS:

ENVIRONMENTAL ASSESSMENT FORM

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Environmental Case Number: _____ ENV-2020-3657-EAF _____

Related Case Numbers: _____ DIR-2020-3656-SPR _____

Case Filed With (Print Name): _____ **Date Filed:** _____

EAF Accepted By (Print Name): _____ **Date Accepted:** _____

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Project Address¹: _____

Assessor's Parcel Number: _____

Major Cross Streets: _____

Community Plan Area: _____ **Council District:** _____

APPLICANT (if not Property Owner)	PROPERTY OWNER
Name: _____	Name: _____
Company: _____	Company: _____
Address: _____	Address: _____
City: _____ State: ____ Zip Code: _____	City: _____ State: ____ Zip Code: _____
E-Mail: _____	E-Mail: _____
Telephone No.: _____	Telephone No.: _____
APPLICANT'S REPRESENTATIVE	ENVIRONMENTAL REVIEW CONSULTANT
Name: _____	Name: _____
Company: _____	Company: _____
Address: _____	Address: _____
City: _____ State: ____ Zip Code: _____	City: _____ State: ____ Zip Code: _____
E-Mail: _____	E-Mail: _____
Telephone No.: _____	Telephone No.: _____

¹ Project address must include all addresses on the subject site (as identified in ZIMAS; <http://zimas.lacity.org>)

OVERVIEW

CEQA, or the California Environmental Quality Act, is a statute that requires state and local agencies to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible. CEQA requires public agencies to conduct environmental review before making a determination on a project. The environmental review process examines the potential impacts your project will have on the property and its surroundings, and makes recommendations (mitigation measures) on how to minimize or reduce those impacts that are found to be significant. The purpose of this application is to assist staff in determining the appropriate environmental clearance for your project. Please fill out this form completely. Missing, incomplete or inconsistent information will cause delays in the processing of your application.

1. PROJECT DESCRIPTION

A. Briefly describe the entire project and any related entitlements (e.g. Tentative Tract, Conditional Use, Zone Change, etc.). The description must include all phases and plans for future expansion.

Additional information or Expanded Initial Study attached: YES NO

B. Will the project require certification, authorization, clearance or issuance of a permit by any federal, state, county, or environmental control agency, such as Environmental Protection Agency, Air Quality Management District, Water Resources Board, Environmental Affairs, etc.? YES NO

If YES, please specify:

2. EXISTING CONDITIONS

A. Project Site.

Lot Area: _____ square feet

Net Acres: _____ Gross Acres: _____

B. Zoning/Land Use.

	Existing	Proposed
Zoning		
Use of Land		
General Plan Designation		

C. Structures.

1. Does the property contain any vacant structure? YES NO

If YES, describe and state how long it has been vacant: _____

2. Will any structures be removed/demolished as a result of the project? YES NO

If YES, provide the number: _____, type: _____
 _____, total square footage: _____
 and age: _____ of structures to be removed.

If residential dwellings (apartments, single-family, condominiums etc.) are being removed indicate the number of units: _____

D. Trees.

Are there any trees on the property, and/or within the public right-of-way next to the property, that will be removed or impacted* as a result of the project? YES NO

If YES complete the following:

Tree Status	Quantity Existing	Tree Types	Quantity Removed	Quantity Relocated	Quantity Replaced	Quantity Impacted*
Non-Protected (8" trunk diameter and greater)						
Protected (4" trunk diameter and greater)		Oak Tree (excluding Scrub Oak)				
		Southern California Black Walnut				
		Western Sycamore				
		California Bay				

* Impacted means that grading or construction activity will be conducted within five (5) feet of, or underneath the tree's canopy.

Additional information attached: YES NO

*If a protected tree (as defined in Section 17.02 of the LAMC) will be removed, replaced, relocated, or impacted, a **Tree Report** is required.*

E. Slope. State the percent of property which is:

Less than 10% slope: _____ 10-15% slope: _____ over 15% slope: _____

*If slopes over 10% exist, a **Topographic Map** will be required.*

F. Grading. Specify the total amount of dirt being moved:

- 0-500 cubic yards
- More than 500 cubic yards

If more than 500 cubic yards (indicate amount): _____ cubic yards

G. Import/Export. Indicate the amount of dirt to be imported or exported:

Imported: _____ cubic yards Exported: _____ cubic yards

Location of disposal site: _____

Location of borrow site: _____

Is the Project Site located within a Bureau of Engineering (BOE) Special Grading Area? YES NO

*If YES, a **Haul Route** is required.*

H. Hazardous Materials and Substances. Is the project proposed on land that is or was developed with a dry cleaning, automobile repair, gasoline station, or industrial/manufacturing use, or other similar type of use that may have resulted in site contamination? YES NO

If YES, describe: _____

*If YES, a **Phase I Environmental Site Assessment (ESA)** is required.*

I. Historic, Cultural and/or Architecturally Significant Site or Structure. Does the project involve any structures, buildings, street lighting systems, spaces, sites or components thereof which are designated or may be eligible for designation in any of the following? If YES, please check and describe:

National Register of Historic Places: _____

California Register of Historic Resources: _____

City of Los Angeles Cultural Historic Monument: _____

Located within a City of Los Angeles Historic Preservation Overlay Zone (HPOZ): _____

Identified on SurveyLA: _____

Identified in HistoricPlacesLA: _____

Does the Project affect any structure 45 or more years old that does not have a local, state, or federal designation for cultural or historic preservation? YES NO

J. Miscellaneous. Does the property contain any easements, rights-of-way, Covenant & Agreements, contracts, underground storage tanks or pipelines which restrict full use of the property? YES NO

If YES, describe: _____
 _____ and indicate the sheet number on your plans showing the condition: _____.

3. PROPOSED DEVELOPMENT

In the sections below, describe the entire project, not just the area in need of the entitlement request. If the project involves more than one phase or substantial expansion or changes of existing uses, please document each portion separately, with the total or project details written below. Attach additional sheets as necessary to fully describe the project.

A. ALL PROJECTS

i. Parking.

Vehicular Parking

Required: _____ + Guest: _____

Proposed: _____ + Guest: _____

Bicycle Parking:

Required Long-Term: _____ Required Short-Term: _____

Proposed Long-Term: _____ Proposed Short-Term: _____

*16 additional bicycle parking spaces to be provided pursuant to LAMC 12.21.A.4 (vehicular parking

ii. Height. replacement)

Number of stories (not including mezzanine levels): _____ Maximum height: _____

Are Mezzanine levels proposed? YES NO

If YES, indicate on which floor: _____,

If YES, indicate the total square feet of each mezzanine: _____

*New construction resulting in a height in excess of 60 feet may require a **Shade/Shadow Analysis**. This does not apply to projects that are located within a Transit Priority Area (TPA) as defined by ZI-2452 (check the Planning and Zoning tab in ZIMAS for this information <http://ZIMAS.lacity.org>).*

iii. Project Size.

What is the total floor area of the project? _____ gross square feet

iv. Lot Coverage. Indicate the percent of the total project that is proposed for:

Building footprint: _____ %

Paving/hardscape: _____ %

Landscaping: _____ %

v. Lighting. Describe night lighting of project: _____

B. RESIDENTIAL PROJECT

If no portion of the project is residential check -N/A and continue to next section

i. Number of Dwelling Units.

Single Family: _____, Apartment: _____, Condominium: _____

ii. Recreational Facilities. List recreational facilities for project: _____

iii. Open Space.

Does the project involve new construction resulting in additional floor area and units? YES NO

Does the project involve six or more residential units? YES NO

If YES to both, complete the following

Pursuant to LAMC 12.21.G	Required	Proposed
Common Open Space (Square Feet)		
Private Open Space (Square Feet)		
Landscaped Open Space Area (Square Feet)		
Number of trees (24 inch box or greater)		

iv. Utilities. Describe the types of appliances and heating (gas, electric, gas/electric, solar): _____

v. Accessory Uses. Describe new accessory structures (detached garage, guest house, swimming pool, fence, stable, etc.) and/or additions: _____

C. COMMERCIAL, INDUSTRIAL OR OTHER PROJECT

If the project is residential only check -N/A and continue to next section

i. Type of Use. _____

ii. Project Size. Does the project only involve the remodel or change of use of an existing interior space or leasehold? YES NO

If YES, indicate the total size of the interior space or leasehold: _____ square feet

iii. Hotel/Motel. Identify the number of guest rooms: _____ guest rooms

iv. **Days of operation.** _____

Hours of operation. _____

v. **Special Events.** Will there be special events not normally associated with a day-to-day operation (e.g. fund raisers, pay-for-view events, parent-teacher nights, athletic events, graduations)? YES NO

If YES, describe events and how often they are proposed _____

vi. **Occupancy Limit.** Total Fire Department occupancy limit: _____

a. Number of fixed seats or beds _____

b. Total number of patrons/students _____

c. Number of employees per shift _____, number of shifts _____

d. Size of largest assembly area _____ square feet

v. **Security.** Describe security provisions for the project _____

4. SELECTED INFORMATION

A. **Circulation.** Identify by name all arterial road types (i.e. Boulevard I, II, Avenue I, II, III) and freeways within 1,000 feet of the proposed Project; give the approximate distances (check <http://navigatela.lacity.org> for this information). _____

B. **Green building certification.** Will the project be LEED-certified or equivalent? YES NO

If YES, check appropriate box:

Certified Equivalent Silver Gold Platinum Other _____

C. **Fire sprinklers.** Will the Project include fire sprinklers? YES NO

5. CLASS 32 URBAN INFILL CATEGORICAL EXEMPTION (CE) REQUEST

The Class 32 “Urban Infill” Categorical Exemption (Section 15332 of the State CEQA Guidelines), is available for development within urbanized areas. This class is not intended to be applied to projects that would result in any significant traffic, noise, air quality, or water quality impacts.

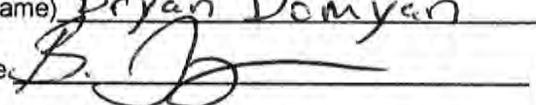
Check this box if you are requesting a Class 32 Exemption, and:

- You have read DCP’s Specialized Instructions for the Class 32 Categorical Exemption (CP-7828) and,
- You have submitted the written justifications identified in the Specialized Instructions, and any supporting documents and/or technical studies to support your position that the proposed Project is eligible for the Class 32 Exemption and the project does not fall under any of the Exceptions pursuant to CEQA Section 15300.2.

Note that requesting the Urban Infill CE does not guarantee that the request will be accepted. The City may require additional studies and information if necessary to process the CE. The City reserves all rights to determine the appropriate CEQA clearance, including using multiple clearances and requiring an EIR if necessary.

APPLICANT/CONSULTANT'S AFFIDAVIT
OWNER MUST SIGN AND BE NOTARIZED,
IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED

PROPERTY OWNER

I, (print name) Bryan Domyan
Signature: 

CONSULTANT/AGENT

I, (print name) _____
Signature _____

being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

Space Below for Notary's Use

California All-Purpose Acknowledgement

Civil Code Section 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 4-16-20 before me, BRYAN CORRADO, NOTARY PUBLIC
(Insert Name of Notary Public and Title)

personally appeared BRYAN Domyan who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


Signature

(Seal)



APPLICANT/CONSULTANT'S AFFIDAVIT

OWNER MUST SIGN AND BE NOTARIZED,

IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED

PROPERTY OWNER

I, (print name) _____

Signature _____

CONSULTANT/AGENT

I, (print name) Dana Sayles

Signature _____

being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

Space Below for Notary's Use

California All-Purpose Acknowledgement

Civil Code Section 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 12-09-2019 before me, A. Sheikh, Notary Public

(Insert Name of Notary Public and Title)

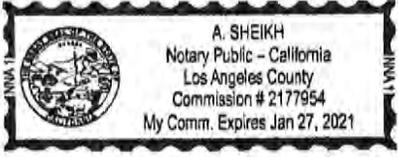
personally appeared Dana Sayles who proved to me on the basis of satisfactory evidence to be the person(e) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(e), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

A. Sheikh
Signature

(Seal)



ATTACHMENT “A”
FINDINGS & SUPPLEMENTAL INFORMATION
1130 S. Hope Street, Los Angeles, California 90015
 DIR-2020-3656-SPR | ENV-2020-3657-EAF
UPDATED JUNE 9, 2021

➤ **SITE INFORMATION:**

- Street Address: 1130 S. Hope Street, Los Angeles, California 90015
- Lot area: Approximately 7,829 square feet / 0.18 acre (per survey)
- Assessor’s Parcel Number: 5139-021-004

➤ **ACTION(s) Requested:**

- **Site Plan Review (SPR)**, pursuant to LAMC 16.05, to permit the new construction of a 112-guest room hotel with 528 square feet of ground-floor retail uses

➤ **PROPERTY / ZONING INFORMATION:**

SUBJECT PROPERTY

The Property is a rectangular-shaped site comprised of one legal parcel, measuring approximately 7,829 square feet of surface land area, or 0.18 acre, according to a boundary survey recently conducted at the Property. The site is currently undeveloped. The Property fronts approximately 50 feet along the easterly side of Hope Street.

ZONING INFORMATION

The Property is zoned [Q]R5-4D-O and designated for High Density Residential land uses by the Central City Community Plan. The Q condition restricts the use of the Property to residential uses permitted in the R5 zone, hotels, motels, and other commercial uses, and limits the commercial FAR of the Property to 2:1. The D limitation restricts the overall FAR of the Property to 6:1. Residential uses are permitted in the R5 zone, with no density restrictions for guest rooms.

SURROUNDING LAND USES

The Property is bounded by Hope Street to the west, adjoining public alleys to the north and east, and a surface parking lot to the south.

➤ **RELATED CASES**

- ZA-2012-3185-VCU-ZV-ZAA-TDR – On November 12, 2013, the Zoning Administrator approved the adaptive reuse of a vacant 76-room 3-story building into a 10-story 44-guest

room hotel with restaurant, bar, conference/meeting room, and gallery space, for a project located at the subject property, 1130 S. Hope Street.

- ZA-2013-4157-ZV-TDR-SPR – On July 11, 2014, the Zoning Administrator approved a 28-story mixed-use project consisting of 208 residential units, 3 commercial condos, and approximately 5,000 square feet of commercial retail space, for a project located at 1133 S. Hope Street.
- CPC-2013-4125-TDR-MCUP-ZV-SPR – On October 30, 2014, the City Planning Commission approved a project consisting of two mixed-use high-rise towers consisting of 730 condominium dwelling units and approximately 7,873 square feet of ground-floor commercial retail space, for a project located at 1212 S. Flower Street.
- ZA-2014-562-CU-ZV-TDR-SPR – On March 24, 2015, the Zoning Administrator approved a project consisting of a 41-story mixed-use development with 461 residential condominium units and 8,700 square feet of commercial space, and a 12-story hotel with 300 rooms and 8,610 square feet of commercial uses, for a project located at 1120 S. Grand Avenue.
- ZA-2018-2852-CU-CUB-ZV-TDR-SPR – On November 16, 2018, the Zoning Administrator approved a project consisting of a 16-story mixed-use building with 243 hotel guest rooms and 4,618 square feet of ground-floor retail and restaurant uses, for a project located at 1155 S. Olive Street.
- ZA-2016-189-CUB-CUX-TDR-DD-SPR – On July 8, 2016, the Zoning Administrator approved a project consisting of a 24-story mixed-use building with 161 residential units and 2,085 square feet of commercial space, for a project located at 1229 S. Grand Avenue.
- CPC-2012-1665-TDR-ZV-SPR – On February 4, 2014, the City Planning Commission approved a project consisting of two separate sites with two separate buildings totaling 419 apartment units and 42,000 square feet of commercial space, for a project located at 1301 S. Hope Street.
- CPC-2015-1158-SN-TDR-MCUP-CUX-SPR – On November 9, 2017, the City Planning Commission approved a mixed-use development consisting of a 300-room hotel, 435 residential units, and 58,959 square feet of commercial uses, for a project located at 1020 S. Figueroa Street.

➤ STREETS AND CIRCULATION

- Hope Street, adjoining the Property to the west, is a designated Avenue II, dedicated to an 80-foot right-of-way in width, and improved with curb, gutter, and sidewalk. An Avenue II requires an 86-foot right-of-way; therefore, a 3-foot dedication is anticipated on the Hope Street frontage.

- The public alleys, adjoining the Property to the east and south, are dedicated to a minimum 20-foot right-of-way in width, and fully improved to alley standards. Public alleys require a 20-foot right-of-way; therefore, no further dedications are anticipated on the adjacent public alleys.

➤ **ZONING STATISTICS**

	Required/Permitted	Provided
Gross Lot Area	7,829 SF ¹	
Buildable Area	7,829 SF	
Floor Area Ratio	6:1	6:1
Allowable Floor Area	46,974 SF	46,741 SF
Density	Unlimited (guest rooms)	112 guest rooms
Parking	23 spaces ²	23 spaces ³
Front Yard Setback	0 ft ⁴	0 ft setback; 3-foot average sidewalk easement ⁵
Side Yard Setbacks	0 ft ⁴	0 ft
Rear Yard Setback	0 ft ⁴	0 ft
Building Height	Unlimited	106' (8 stories)

¹ Per survey

² Based on Central City Parking requirements for hotels, and 0 parking spaces required for ground-floor retail uses less than 7,500 SF, and 15% bike parking reduction

³ Two spaces are provided on-site, 21 spaces are provided off-site within 750 feet, pursuant to LAMC 12.21.A.4(g)

⁴ Pursuant to Greater Downtown Housing Incentive Area yards

⁵ Pursuant to Downtown Design Guide

➤ **PROJECT DESCRIPTION**

The Applicant proposes to redevelop the Property with a new 8-story, 106-foot high limited-service hotel with 112 guest rooms and 528 square feet of ground-floor retail uses. The total floor area of the building is 46,741 square feet, with a Floor Area Ratio (FAR) of 6:1.

The building contains 112 guest rooms evenly divided across seven floors (16 guest rooms per floor). The ground floor features a lobby/reception area, along with other hotel amenities including a conference room, business center, vending machine room, trash and recycling, common restrooms, and an elevator lobby. The ground floor also includes a 528 square-foot retail space fronting on Hope Street. There is no restaurant, bar, or other on-site food or beverage service either at the ground floor or at the rooftop level of the Project. There will be no mini-bars in the guestrooms providing alcoholic beverages.

The building features a roof deck with substantial guest amenity spaces, including multiple lounge areas with barbecue and dining spaces, and two exercise areas. The entire roof is designated for passive lounge activity. There is no rooftop bar/lounge or other food and beverage outlet. The building also contains a basement level with an additional lounge area and fitness room for exclusive use by hotel guests.

The guest rooms are also generously sized, providing ample natural light averaging 340 square feet. All rooms feature a private bathroom and wet bar as a convenience to the guests, with a mini-refrigerator, microwave, coffee maker, and other limited-service convenience amenities. No cooktop burners or ovens are proposed. Therefore, the proposed hotel guest rooms do not include kitchens, as defined by LAMC 12.03, and the amenities provided are consistent with typical conveniences that have come to be expected by hotel patrons. All bathroom and plumbing fixtures will be water-conserving fixtures.

The building contains 2 on-site parking spaces provided on the ground floor, accessed by the side and rear alleys via Hope Street and 12th Street, in addition to 21 off-site parking spaces located within 750 feet pursuant to LAMC 12.21.A.4(g) at 1028 S. Hope Street. The Project also provides a loading zone on the northeasterly end of the site at grade. In compliance with Ordinance No. 182,416, the Project also provides a 16 bicycle parking spaces (of which 8 will be reserved for long-term use and 8 for short-term use) to satisfy its base bicycle parking requirements. In addition, pursuant to LAMC 12.21.A.4, the Project will provide 16 additional bicycle parking spaces as a replacement for four automobile parking spaces, for a total of 32 bicycle parking spaces.

The Project includes approximately 8,259 square feet of amenity space, including 1,926 square feet of lounge and fitness space in the basement, 2,717 square feet of common space on the ground floor, and 3,616 square feet of outdoor lounge and exercise areas on the roof deck.

In accordance with the spirit and intent of the Central City Community Plan, Downtown Design Guide, and Citywide Design Guidelines, the building provides a variety of architectural

materials and building planes, with special attention to create a pedestrian-scaled project at the street level. The architectural design of the building incorporates clean lines, warm, refined materials, and an open, inviting presence. The design alternates different textures, colors, materials, and distinctive architectural treatments to add visual interest while avoiding dull and repetitive facades. Landscaping around the building will include a mix of ground cover and trees to complement the architecture. Plant material has been selected for temperature hardiness and low water use.

The building will be sustainably designed to meet and/or exceed all City of Los Angeles current building code and Title 24 requirements. As such, the project will incorporate eco-friendly building materials, systems, and features wherever feasible, including Energy Star appliances, water saving/low flow fixtures, non-VOC paints/adhesives, drought tolerant planting, and high performance building envelopment.

The Property has outstanding access to community resources, parks, entertainment and retail services, and public transportation. There are several bus routes, light-rail, and subway stations throughout Downtown LA. These transit opportunities provide connections to the greater Los Angeles area.

REDEVELOPMENT PLAN COMPLIANCE

Pursuant to LAMC Section 11.5.14.D(5), the Director shall find that a project within a redevelopment plan area conforms to the applicable regulations established by the redevelopment plan. The proposed Project is within the City Center Redevelopment Plan Area, and, as discussed below, substantially complies with the applicable regulations, standards, and provisions of the Redevelopment Plan Area.

1. Substantially complies with the relevant Redevelopment Regulations, findings, standards and provisions of the Redevelopment Plan.

The Project substantially complies with the following City Center Redevelopment Plan (the “Plan”) regulations, findings, standards, and provisions:

- **501. General Controls and Limitations** – The Project has been designed to be in conformance with the provisions of the Plan and applicable guidelines.
- **502. Redevelopment Plan Map** – The Property is designated for Residential land uses and is within the South Park Development Area, pursuant to the Redevelopment Plan Maps. The Project is required to request a Redevelopment Plan Project Permit Compliance review to permit a commercial use in a Residential land use designation.
- **503.1. Commercial Uses** – Not applicable. The Property’s land use designation is Residential pursuant to the Redevelopment Plan Map.
- **503.2. Residential Uses** – The Property has a Residential land use designation pursuant to the Redevelopment Plan map, which typically encourages development of multi-family housing. However, the Property is also located within the South Park Development Area, which encourages mixed-use development, including hotel and motel uses.
- **503.3. Industrial Uses** – Not applicable.
- **503.4. Commercial Uses within Residential Areas** – The Plan permits appropriately designed and properly located commercial facilities providing neighborhood services in Residential areas, including commercial uses as mixed uses in residential mixed-use developments, provided it conforms to the following criteria:
 - **Promote community revitalization** – The Project will enhance the surrounding South Park neighborhood by providing high quality design and tourism-serving and retail uses that will improve the local economy.

- **Promote the goals and objectives of the Plan** – The City Center Redevelopment Plan includes objectives related to the revitalization and redevelopment of Downtown with economic enterprises, including retail and hospitality uses, the implementation of high-quality design and development, and the establishment of Downtown LA as a strong image and major center of the Los Angeles region. The proposed Project helps accomplish each of those objectives by redeveloping a vacant parcel with a hotel featuring high-quality design and compatibility with the surrounding land uses, and further establishing Downtown Los Angeles as a central hub for hospitality uses to support the city’s tourism industry.
 - **Be compatible with and appropriate for the Residential uses in the vicinity** – The Project site is surrounded by a variety of commercial and residential uses, including other high-rise developments, appropriate for the dense urban landscape of Downtown Los Angeles. To the north on the opposite side of the alley, the Project abuts a 19-story mixed-use building containing 236 condominium units. Across the street on the opposite side of Hope Street, the Project faces a 28-story residential tower containing 208 residential units, three commercial condos, and approximately 5,000 square feet of commercial retail space. The Downtown area is characterized by residential, commercial, and mixed-use towers, similar in size to or larger than the proposed Project. Further, the Central City Community Plan Area is generally zoned for more intensive uses and higher density development, including unlimited height districts. Therefore, the Project as an 8-story, 106-foot tall building is proper in relation to the adjacent uses and developments of the Downtown community.
 - **Meet design and location criteria required by the Agency** – The Plan requires that Projects give consideration to good design, open space, and other amenities to enhance the aesthetic quality of the Project Area. The Project is of high-quality design, utilizing sophisticated architectural massing and building materials that helps set the Project apart from other similar projects in the area, while still maintaining compatibility, and setting a high standard of design for future development in South Park. The Project includes significant amenity space, both inside the building and on the proposed roof deck, including a fitness room, common/meeting areas, and outdoor lounge and exercise areas on the roof deck. Therefore, the Project conforms to this Plan criteria.
- **503.5. Commercial Uses within Industrial Areas** – Not applicable.
 - **503.6. Residential Uses within Commercial Areas** – Not applicable.
 - **503.7. Residential Uses within Industrial Areas** – Not applicable.

- **504.1. Public Uses** – Not applicable.
- **504.2. Public Street Layout, Rights-of-Way, and Easements** – The Project does not propose the realignment or any change in the configuration of Hope Street. It is anticipated that the Project will be required to dedicate 3 feet on Hope Street, which the Project design incorporates. It is also anticipated that the Project will require a 3-foot average sidewalk easement along Hope Street, pursuant to the Downtown Design Guide, which the Project has also incorporated.
- **504.3. Other Open Space, Public, and Quasi-Public Uses** – Not applicable.
- **505. Interim Uses** – Not applicable.
- **506. Nonconforming Uses** – Not applicable.
- **507. New Construction and Rehabilitation of Properties** – The Project complies with all Zoning Code provisions, as well as with the fundamental elements of the Downtown Design Guide. The Project also complies with the applicable California Building Code provisions, all of which will be verified during the building permit plan check and clearance process.
- **508. Development Areas** – The Property is located within the South Park Development Area. The proposed hotel and retail uses are consistent with the appropriate land uses for that area.
- **508.1. Historic Downtown Development Area** – Not applicable.
- **508.2. City Markets Development Area** – Not applicable.
- **508.3. South Park Development Area** – The Project’s proposed hotel and retail uses are consistent with the appropriate land uses for the South Park Development Area.
- **509. Limitation on Type, Size, and Height of Buildings** - The Project complies with all Zoning Code provisions, as well as with the fundamental elements of the Downtown Design Guide, as demonstrated by the project plans provided.
- **512.1. Maximum Floor Area Ratios** – The Project complies with the Plan’s limit of 6:1, proposing an FAR of 6:1.
- **512.2. Exemption from Maximum Floor Area Ratios for Rehabilitation and/or Remodeling of Existing Buildings** - Not applicable.
- **512.3. Exemption from Maximum Floor Area Ratios for Replacement of Existing Buildings** – Not applicable.

- **512.4. Higher Maximum Floor Area Ratios through Transfer of Floor Area** – Not applicable.
- **512.5. Procedures for Effectuating Transfers of Floor Area Ratio for Transfers of 50,000 SF of Floor Area or More** – Not applicable.
- **512.6. Procedures for Effectuating Transfers of Floor Area Ratio for Transfers of less than 50,000 SF of Floor Area** – Not applicable.
- **512.7. Higher Maximum Floor Area Ratios for Mixed Commercial/Residential Developments** – Not applicable.
- **513. Open Space, Landscaping, Light, Air, and Privacy** – The Plan suggests that the appropriate approximate amount of project open space is 63% within the building, 34% within the rights-of-way, and 3% as open space. The Project includes approximately 8,259 square feet of amenity space, including 1,926 square feet of lounge and fitness space in the basement, 2,717 square feet of common space on the ground floor, and 3,616 square feet of outdoor lounge and exercise areas on the roof deck. Additionally, as demonstrated on the Project’s landscape plan, the Project provides substantial greenery and on-site trees to provide shading and privacy, and to improve habitability for hotel guests.
- **514. Signs, Billboards, and Skyline Signage** - The Project consists of typical signage for hotel and retail uses, as shown on the concept signage plans included in the plan set. All proposed signs are designed to be compliant with the Downtown Design Guide.
- **515. Utilities** – As provided on the project plans, all utilities are proposed to be undergrounded.
- **516. Parking and Loading Facilities** – Per code, the Project is required to provide 23 parking spaces. The building contains 2 on-site parking spaces provided on the ground floor, accessed by the side and rear alleys via Hope Street and 12th Street, in addition to 21 off-site parking spaces located within 750 feet pursuant to LAMC 12.21.A.4(g) at 1028 S. Hope Street. The Project also provides a loading zone on the northeasterly end of the site at grade, tucked into the building footprint and fully screened from public view. No parking is located within a setback area. All parking areas will be paved and appropriately drained.
- **517. Setbacks** –The Project is entitled to zero-foot yards on all property lines, pursuant to Greater Downtown Housing Incentive Area yards.
- **518. Incompatible Uses** – Not applicable.

- **519. Resubdivision of Parcels** – Not applicable.
- **520. Variations** – Not applicable.

2. Is subject to all conditions required by the relevant Redevelopment Regulations.

The Project will comply with all conditions required by the relevant Redevelopment Regulations, as the above section describes in detail.

3. Complies with CEQA.

The Project is expected to qualify for a Class 32 (Infill Development) Categorical Exemption under CEQA, and has submitted the relevant technical reports – Traffic Impact, Air Quality, Greenhouse Gas, and Noise studies – in support thereof.

4. Any other findings that are required in the relevant Redevelopment Plan.

All required findings relevant to the Plan have been made herein.

SITE PLAN REVIEW – ADDITIONAL FINDINGS

In granting an approval, the Director shall find:

- 1. That the project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan, and any applicable specific plan.***

The Project is in substantial conformance with the General Plan and Central City Community Plan, and is complementary to certain policies and objectives therein, as follows:

General Plan Framework Element

- ***Goal 3: A Downtown Center as the primary economic, governmental, and social focal point of the region with an enhanced residential community.***
- ***Framework Element Objective 3.11: Provide for the continuation and expansion of government, business, cultural, entertainment, visitor-serving, housing, industries, transportation, supporting uses, and similar functions at a scale and intensity that distinguishes and uniquely identifies the Downtown Center.***

The Project consists of the redevelopment of the Property with a new 112-guest room limited-service hotel with ground-floor retail uses. It is surrounded by complementary residential and commercial uses, and is of a compatible size and scale with the adjacent development landscape. Downtown Los Angeles is a central hub for hospitality uses to support its tourism industry and complement nearby entertainment and visitor-serving uses. Therefore, the Project is consistent with these goals and objectives for the city's Downtown Center.

Central City Community Plan

- ***Objective 2-3: To promote land uses in Central City that will address the needs of all the visitors to Downtown for business, conventions, trade shows, and tourism.***
- ***Policy 2-3.1: Support the development of a hotel and entertainment district surrounding the Convention Center/Staples Arena with linkages to other areas of Central City and the Figueroa corridor.***
- ***Objective 2-4: To encourage a mix of uses which create an active, 24-hour downtown environment for current residents and which would also foster increased tourism.***

The Project consists of the redevelopment of the Property with a new 112-guest room hotel with ground-floor retail uses. It is surrounded by complementary residential and commercial uses, and is of a compatible size and scale with the adjacent development landscape. Downtown Los Angeles is a central hub for hospitality uses to support its tourism industry and complement nearby entertainment and visitor-serving uses.

Therefore, the Project is consistent with these goals and objectives for the Central City and downtown neighborhood.

- 2. That the project consists of an arrangement of buildings and structures (including height, bulk and setbacks), off-street parking facilities, loading areas, lighting, landscaping, trash collection, and other such pertinent improvements, that is or will be compatible with existing and future development on adjacent properties and neighboring properties.***

The Project consists of a single 8-story 106-foot tall, 112-guest room limited-service hotel with 528 square feet of ground-floor retail uses. The proposed building height is compliant with the unlimited height permitted for its [Q]R5-4D-O zoning, and is compatible with the adjacent developments to the north, west, and east of the Property. The Project provides code-compliant loading, vehicular parking, and bicycle parking for hotel guests and retail customers. Additionally, the Project provides substantial landscaping at the ground floor and roof deck, despite no code requirement to do so.

The building will be sustainably designed to meet and/or exceed all City of Los Angeles current building code and Title 24 requirements. As such, the Project will incorporate eco-friendly building materials, systems, and features wherever feasible, including Energy Star appliances, water saving/low flow fixtures, non-VOC paints/adhesives, drought tolerant planting, and high-performance building envelopment.

Therefore, the Project provides a significant upgrade to the existing vacant site conditions, and sets a high standard for future development along this stretch of Hope Street in the South Park neighborhood.

- 3. That any residential project provides recreational and service amenities to improve habitability for its residents and minimize impacts on neighboring properties.***

Although the Project is a hotel and not a residential use, the Project provides a number of on-site recreational spaces and amenities for guests to enjoy. The Project includes approximately 8,259 square feet of amenity space, including, 1,926 square feet of lounge and fitness space in the basement, 2,717 square feet of common space on the ground floor, and 3,616 square feet of outdoor lounge and exercise areas on the roof deck. Additionally, as demonstrated on the Project's landscape plan, the Project provides substantial greenery and on-site trees to provide shading and privacy, and to improve habitability for hotel guests.



HOTEL

1130 S. HOPE STREET

OWNER
HOPE STREET 1, LLC

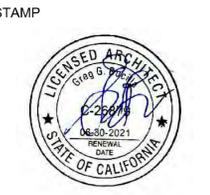
ARCHITECT

BGA Bucilla Group Architecture
ARCHITECTURE | PLANNING | URBAN DESIGN | INTERIOR DESIGN

SHEET INDEX:

CS	COVER / INDEX SHEET	COMPOSITE BUILDING ELEVATION
CS-1.0	PROGRAM SUMMARY	8.1 FRONT ELEVATION
CS-2.0	IMAGERY - BUILDING	LEFT SIDE ELEVATION
CS-3.0	SITE/VICINITY MAP	8.2 RIGHT SIDE ELEVATION
SP-1.0	ALTA SURVEY	REAR ELEVATION
SP-1.1	PLOT PLAN	
COMPOSITE BUILDING PLAN		
1.0	L0 - BASEMENT PLAN	UNIT PLAN TYPE
2.0	L1 - GROUND FLOOR PLAN	9.1 TYPE A , A1, B, B1, C & D
3.0	L2, L3 - TYP. FLAT LEVEL (CONC.)
4.0	L4 TO L8 - TYP. FLAT LEVEL (WOOD)	LANDSCAPE PLANS
5.0	L9 - ROOF DECK LEVEL	L-1 COMPOSITE PLANS
COMPOSITE BUILDING SECTION		
7.0	BUILDING SECTION 'A-A'	L-2 GROUND FLOOR
	BUILDING SECTION 'B-B'	L-3 ROOF DECK LEVEL

ARCHITECT:
BUCILLA GROUP ARCHITECTURE
ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
19782 MacArthur Blvd., Suite 270, Irvine, Ca 92612
TEL. 949. 851. 9090 www.bg-architecture.com



ATTEST TO ARCHITECTURAL ONLY
Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO: ZA-2020-3656-TDR-ZAA-RDPA-RDP-SPR
DD SUBM. DATE: 02/15/21
PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

Sheet Title :
PROJECT OVERVIEW

Sheet No. :
CS

24 x 36

UPDATED: 04/30/21

P L O T P L A N S U M M A R Y

Project Address	1130 South Hope Street Los Angeles, CA 90015	Zoning	(Q)R5-4D-O
Legal Description		General Plan Use	High Density Residential
Tract / Lot	Subdivision Block 79 / 6	General Plan Notes	Yes
APN	5139-021-004	Central City Parking	Yes
Jurisdictional		Downtown Parking	Yes
Community Plan Area	Central City	RPA - Redev. Proj. Area	City Center
Area Planning Com.	Central	Z1 - Zoning Information	
Neighborhood Council	Downtown Los Angeles	1 2488 - City Center	
Council District	CD 14	2 2374 - LA St. Enterprise Zone	
Census Tract	2079	3 2487 - City Ctr / CI Dev GL's & Controls for Res Hotels	
LADBS District Office	Los Angeles Metro	4 2385 - Grt DT Housing Inc. Area	
Commercial District	Southpark	5 2353 - Res Hotel Unit C/D Ord	
		6 2452 - Transit Priority in LA	

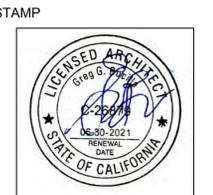
Site	per October 2019 survey	SF	
Gross Lot		7,829	
Density		R5	
Allowed		unlimited	
Provided		112	
Floor Area	CP-7150 (6/12/19)	FAR	SF
Allowed		6.0	46,974
Proposed		6.0	46,741
TFAR		0.0	
Building Height	CP-7150 (6/12/19)	LF	
Allowed		unlimited	
Proposed	8 story	106'-0"	
Setbacks	South Park District	min avg / min-max avg	
Dedication	Front PL	3'	
Required	Front walk easement per DDG	3' avg	
Provided	Front with Retail	0'	
Provided	Sides & Rear	0'	

Auto Parking		No.
Retail - Required	P/ZC 2002-011	
528 sf at ground level	LAMC < 7,500 sf retail not req	0
Hotel - Required	Central City District Park Except	112 room
1st 20 rooms	1 - 20 rooms = 20 / 2	10
2nd 20 rooms	21 - 40 rooms = 20 / 4	5
82 rooms	41 - 112 rooms = 72 / 6	12
Sub-total		27
less 15%	per bike parking reduction =	-4
Total		23
Hotel - Provided		No.
HC Auto	provided off site	1
HC Van	provided off site	1
Hotel - autos	provided off site	19
Hotel - staff autos	provided at bldg rear	2
Sub-Total		23
less 2 spaces	parking on site	-2
Total	parking off site	21
HC & EVA - Provided		No.
HC - Handicap Spaces	provided off site	
EVA Spaces	provided off site	
EVA Charging station req	provided off site	

Bike Parking	LAMC Table 12.21 A.16 (a)(2)	
Retail - Required	Location	Provided
Short Term - 2 bikes	1 rack / 2 bikes at ROW	2
Long Term - 2 bikes	1 rack / 2 bikes at B1 - Basement	2
Hotel - Required	Location	Provided
Short Term - 1/20 guest rms	3 racks / 6 bikes at ROW	6
Long Term - 1/20 guest rms	3 racks / 6 bikes at B1 - Basement	6
Per bike parking reduction	8 racks / 16 bikes at B1 - bsmt	16
Loading / Unloading	LAMC - Bldg sf > 50,000 sf	SF
Required		600
Provided		664
Hotel Amenity		SF
Guest	basement level	1,926
Guest	ground level	2,717
Guest	roof level	3,616
Total		8,259
Hotel Landscape		No.
ground level	at west and south side	540
roof level	at rooftop	445
Total		985

1

ARCHITECT:
BUCILLA GROUP ARCHITECTURE
ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEER
19782 Mac Arthur Blvd., Suite 270, Irvine, CA 92612
TEL: 949.851.9080 www.bg-architecture.com
BUCILLA GROUP ARCHITECTURE, INC. here expressly reserves its common law copyright and all property rights in these plans. These plans are not to be copied, reproduced or changed in any form or means whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission in consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave.,
El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO: 2A-2020-3656-TDR-ZAA-RDPA-RDP-S
DD SUBM. DATE: 02/15/21
PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

Sheet Title :
**PLOT PLAN SUMMARY
PROGRAM SUMMARY
FAR CALCS. PER CITY**

Sheet No. :
CS-1.0

© 2021 BUCILLA GROUP ARCHITECTURE INC. DO NOT SCALE THE DRAWINGS

UPDATED: 04/30/21

P R O G R A M S U M M A R Y

Basement Level / Ground Level / 7 Guest Room Levels - 16 rooms per floor / Rooftop

	4/27/2021	112 guest rooms
Open Space	L9	L2 - L8
	Roof Level	Guest Levels
		Ground Level
		Basement Level
		Provided
B1 - Common		1,926
L1 - Common		2,717
L9 - Common	3,566	3,566
		8,209

L2 - L8				
Guest Room	Guest Rm SF	No of Guest Rm	No of Levels	Total
A	351	8	7	19,656
		2808		
B	394	2	7	5,516
		788		
C	285	4	7	7,980
		1140		
D	353	2	7	4,942
		706		
		16		38,094
		5442		

Site SF	Bldg SF	L3-L9
Gross Lot	7,829	Gst Rm
FAR	6.0	Common
Buildable	46,741	Non FAR
		Ext Void
* per survey		Int SMP
		Total
		7,679
Common Area		
		Corridor
		Lobby
		Total
		809

Level Area	Level Desig.	Gross SF	Park SF	Park Total	Common Area	Amenity OS	NON FAR	NRSF	Efficiency %	Guest Rm / Floor	FAR
Roof	L9					3,566	987				
Flat	L8	7,679			809		1,665	5,442	71	16	6,014
Flat	L7	7,679			809		1,665	5,442	71	16	6,014
Flat	L6	7,679			809		1,665	5,442	71	16	6,014
Flat	L5	7,679			809		1,665	5,442	71	16	6,014
Flat	L4	7,679			809		1,665	5,442	71	16	6,014
Flat	L3	7,679			809		1,665	5,442	71	16	6,014
Flat	L2	7,679			809		1,665	5,442	71	16	6,014
Ground	L1	7,230	1,212				2,717	3,301			2,717
Bsmt	B1	7,679					1,926	5,753			1,926
Total		68,662	1,212	0	5,663	8,209	21,696	38,094		112	46,741

NON FAR Guest Room Floor				
NON FAR	Area	SF ea	no / flr	SF
Stair 1 & 2		180	2	360
Smoke Vestibule		62	2	124
Elevator 1 & 2		92	2	184
Trash Room & Chute		60	1	60
Mech Room		52	1	52
Exterior Walls				207 987
EXTERIOR	Area	SF ea	no / flr	SF
Exterior - Void				294 294
INT SMP WALLS	Area	SF ea	no / flr	SF
Interior - Struct. Walls	14x0.5	7	20	140
Interior - Plumb'g Shafts	16x0.5	8	22	176
Interior - Mech Shafts	1.5x2.5	3.75	18	67.5 383.5
				1,665

3



HOPE STREET FRONTAGE



WEST & SOUTH CORNER



WEST & NORTH CORNER

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VILLAGE ENGINEERING

19782 MacArthur Blvd., Suite 270, Irvine, CA 92612
 TEL. 949.851.9000 www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.

STAMP



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL

1130 South Hope Street
 Los Angeles, California 90015

OWNER

HOPE STREET 1, LLC

1434 East Oak Ave,
 El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO.: ZA-2020-3656-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

Project Number :

BGA No. 19036

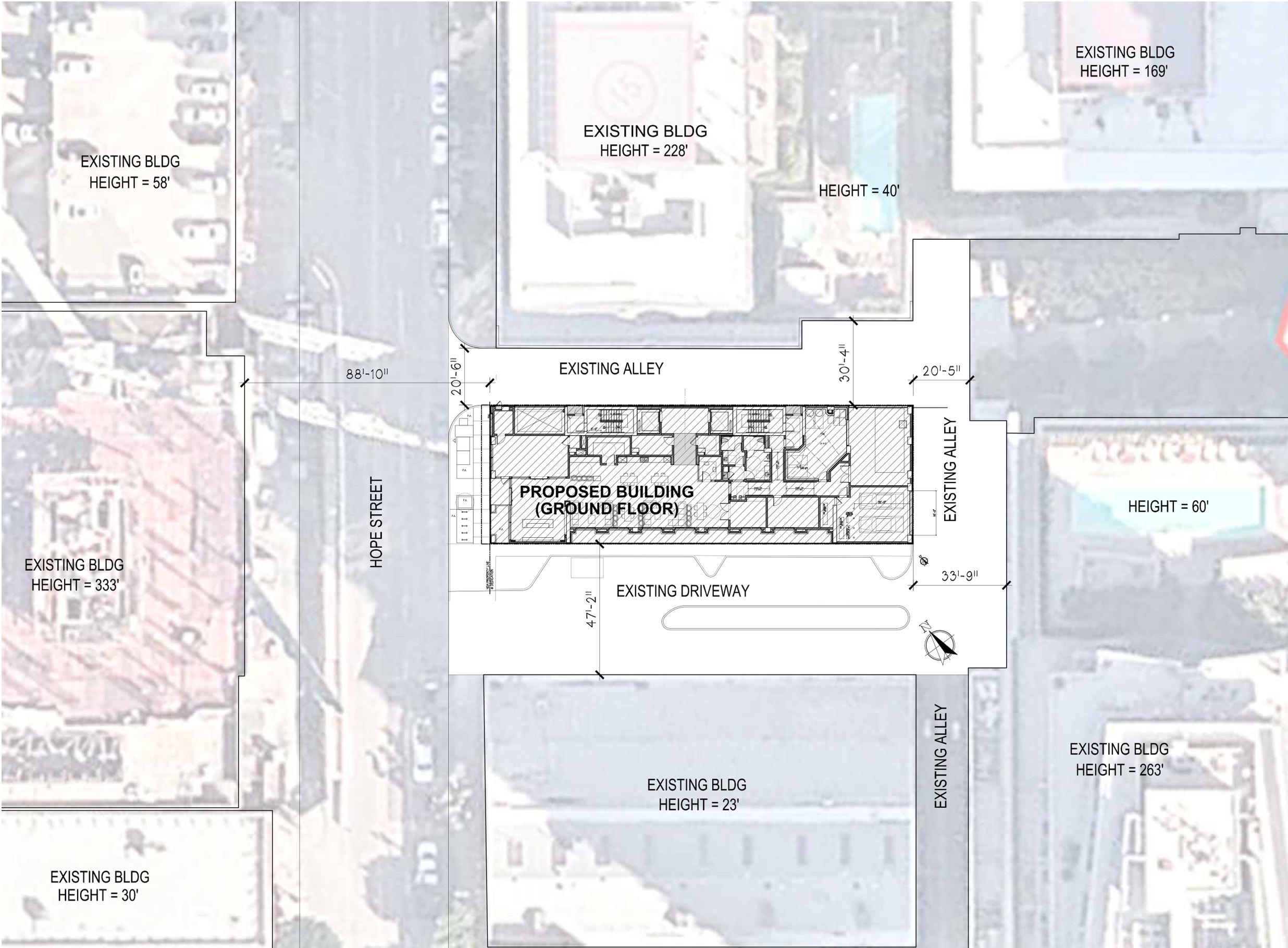
Sheet Title :

BUILDING IMAGERY

Sheet No. :

CS-2.0

© 2021 BUCILLA GROUP ARCHITECTURE INC. DO NOT SCALE THE DRAWINGS



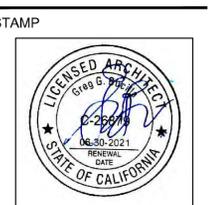
SITE / VICINITY MAP WITH GROUND FLOOR

SEE SP-1.1 FOR SITE PLAN SCALE: 1/16" = 1'-0"

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VILLAGE ENGINEERING

19782 Mac Arthur Blvd., Suite 270, Irvine, Ca 92612
 TEL 949.851.9080 www.bg-architecture.com



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

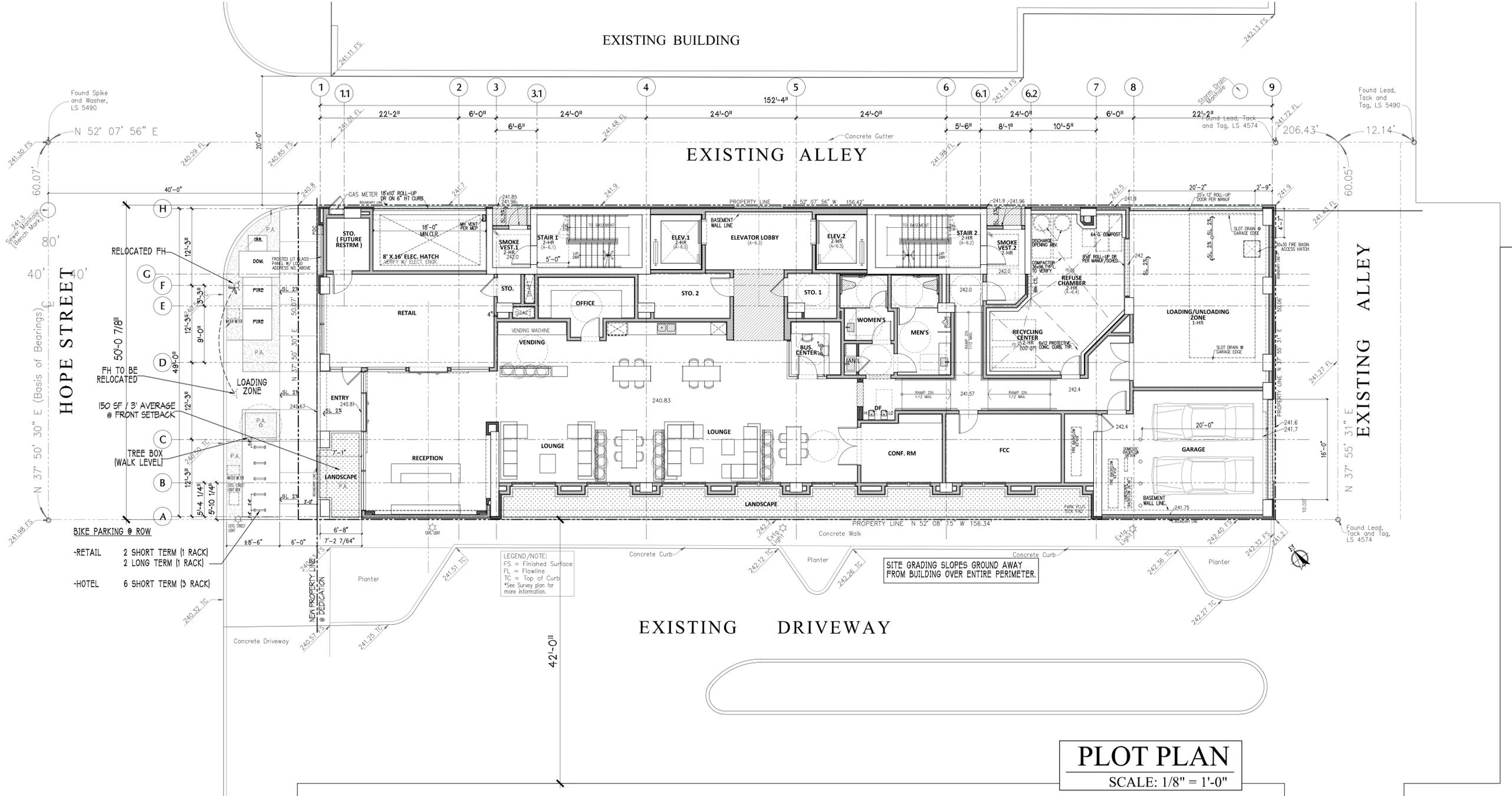
NO.	DATE	DESCRIPTION
041520	SPR Submittal	
060420	SPR Resubmittal	
090920	SPR Resubmittal	
100820	SPR Resubmittal	

CASE NO: ZA-2020-3658-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

Sheet Title :
SITE / VICINITY MAP WITH GROUND FLOOR

Sheet No. :
CS-3.0



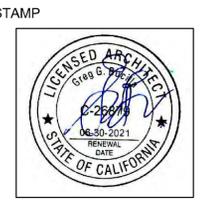
PLOT PLAN
SCALE: 1/8" = 1'-0"

PLOT PLAN SUMMARY

Project Address 1130 South Hope Street Los Angeles, CA 90015		Zoning (Q)RS-4D-O High Density Residential		Site per October 2019 survey SF 7,829		Auto Parking		Bike Parking LAMC Table 12.21 A.16 (a)(2)	
Legal Description Tract / Lot Subdivision Block 79 / 6 APN 5139-021-004		General Plan Use High Density Residential		Density R5 unlimited		Retail - Required 528 sf at ground level P/ZC 2002-011 LAMC < 7,500 sf retail not req 0		Retail - Required Location Short Term - 2 bikes 1 rack / 2 bikes at ROW 2 Long Term - 2 bikes 1 rack / 2 bikes at B1 - Basement 2	
Jurisdictional Community Plan Area Central City Area Planning Com. Central Neighborhood Council Downtown Los Angeles Council District CD 14 Census Tract 2079 LADBS District Office Los Angeles Metro Commercial District Southpark		Central City Parking Yes		Floor Area CP-7150 (6/12/19) FAR SF 6.0 46,974 6.0 46,741 0.0		Hotel - Required 1st 20 rooms 1 - 20 rooms = 20 / 2 10 2nd 20 rooms 21 - 40 rooms = 20 / 4 5 82 rooms 41 - 112 rooms = 72 / 6 12 Sub-total 27 less 15% per bike parking reduction = -4 Total 23		Hotel - Required Location Short Term - 1/20 guest rms 3 racks / 6 bikes at ROW 6 Long Term - 1/20 guest rms 3 racks / 6 bikes at B1 - Basement 6 Per bike parking reduction 8 racks / 16 bikes at B1 - bsmt 16	
City Center 1 2488 - City Center		Downtown Parking Yes		Building Height CP-7150 (6/12/19) LF unlimited		Hotel - Provided		Loading / Unloading LAMC - Bldg sf > 50,000 sf SF 600 664	
RPA - Redev. Proj. Area City Center		Provided 112		Setbacks South Park District min avg / min-max avg		HC Auto provided off site 1		Hotel Amenity	
ZI - Zoning Information		TFAR 0.0		Front PL 3'		HC Van provided off site 1		Guest basement level 1,926	
2 2374 - LA St. Enterprise Zone		Proposed 106'-0"		Required Front walk easement per DDG 3' avg		Hotel - autos provided off site 19		Guest ground level 2,717	
3 2487 - City Ctr / CI Dev GL's & Controls for Res Hotels		Provided 0'		Provided Front with Retail 0'		Hotel - staff autos provided at bldg rear 2		Guest roof level 3,616	
4 2385 - Grt DT Housing Inc. Area		Provided 0'		Provided Sides & Rear 0'		Sub-Total 23		Total 8,259	
5 2353 - Res Hotel Unit C/D Ord		Provided 0'		Setbacks		less 2 spaces parking on site -2		Hotel Landscape	
6 2452 - Transit Priority in LA		Provided 0'		Dedication Front PL 3'		Total parking off site 21		No.	
		Required 0'		Required Front walk easement per DDG 3' avg		HC & EVA - Provided		ground level at west and south side 540	
		Provided 0'		Provided Front with Retail 0'		Location		roof level at rooftop 445	
		Provided 0'		Provided Sides & Rear 0'		HC - Handicap Spaces provided off site		Total 985	
		Provided 0'		Provided Sides & Rear 0'		EVA Spaces provided off site			
		Provided 0'		Provided Sides & Rear 0'		EVA Charging station req provided off site			

NOTE: SEE CIVIL DRAWINGS FOR APP'D CIVIL/GRADING SITE PLANS.

19782 MacArthur Blvd., Suite 270, Irvine, CA 92612
TEL 949.851.9080 www.bg-architecture.com
BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



Project:
HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave.,
El Segundo, CA 90045

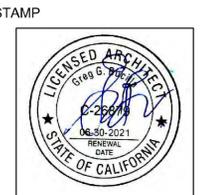
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO.: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
DD SUBM. DATE: 02/15/21
PLOT DATE: 02/03/21

Project Number:
BGA No. 19036

Sheet Title:
PLOT PLAN

Sheet No.:
SP-1.1



ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015
 OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

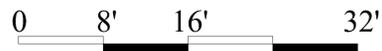
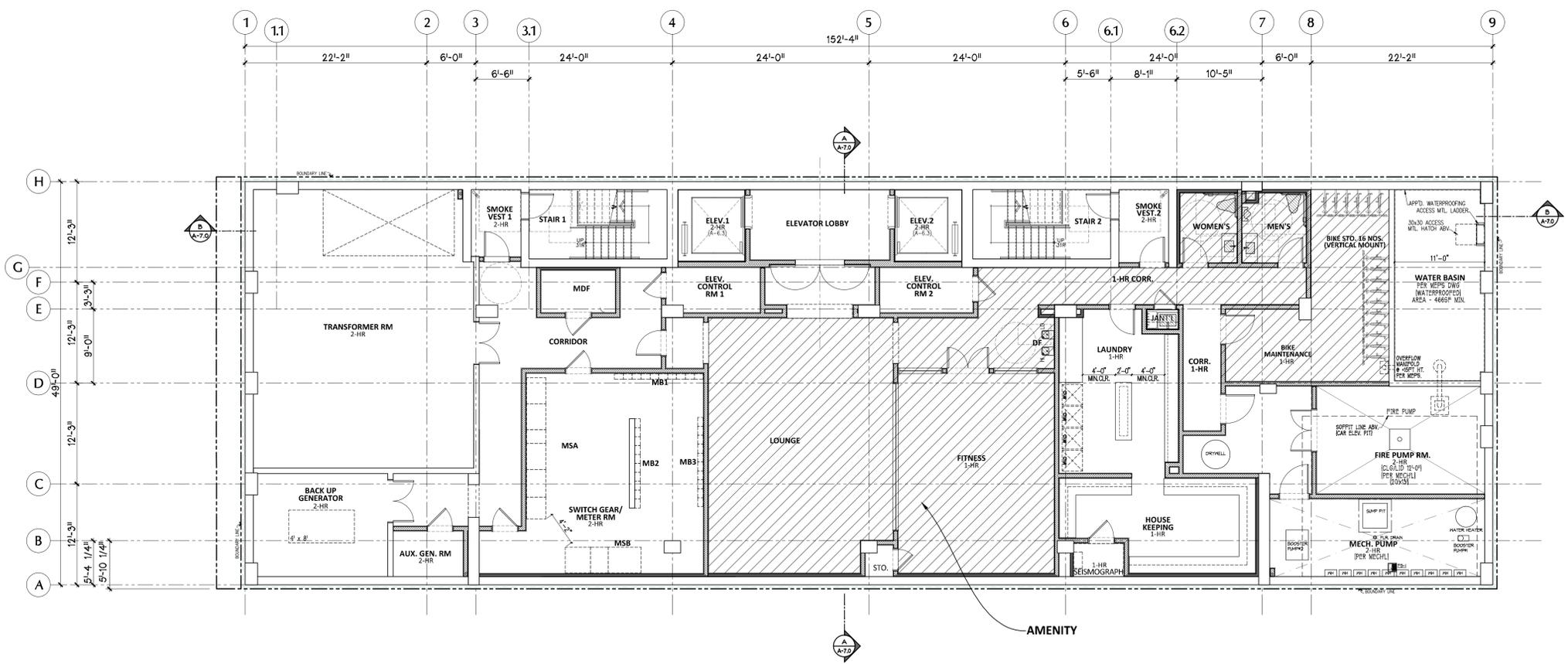
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO: 2A-2020-3658-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

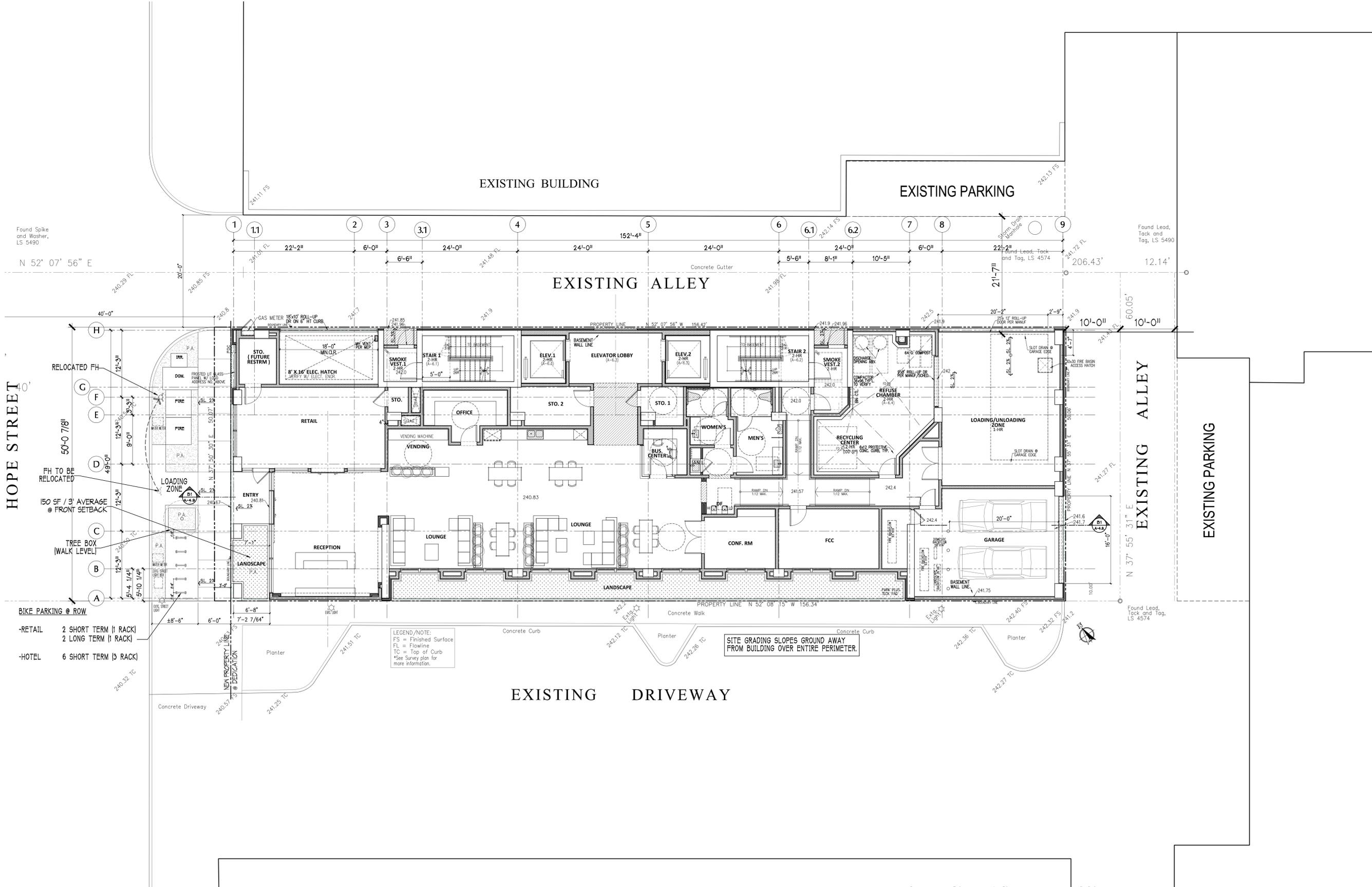
Project Number :
BGA No. 19036

Sheet Title :
L0 - BASEMENT FLOOR PLAN

Sheet No. :
1.0



L0 - BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"



Found Spike and Washer, LS 5490

Found Lead, Tack and Tag, LS 5490

- BIKE PARKING @ ROW
- RETAIL 2 SHORT TERM (1 RACK)
2 LONG TERM (1 RACK)
- HOTEL 6 SHORT TERM (3 RACK)

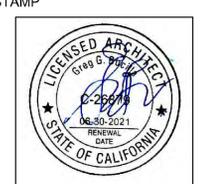
LEGEND/NOTE:
FS = Finished Surface
FL = Flowline
TC = Top of Curb
*See Survey plan for more information.

SITE GRADING SLOPES GROUND AWAY FROM BUILDING OVER ENTIRE PERIMETER.

0 8' 16' 32'

L1-GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

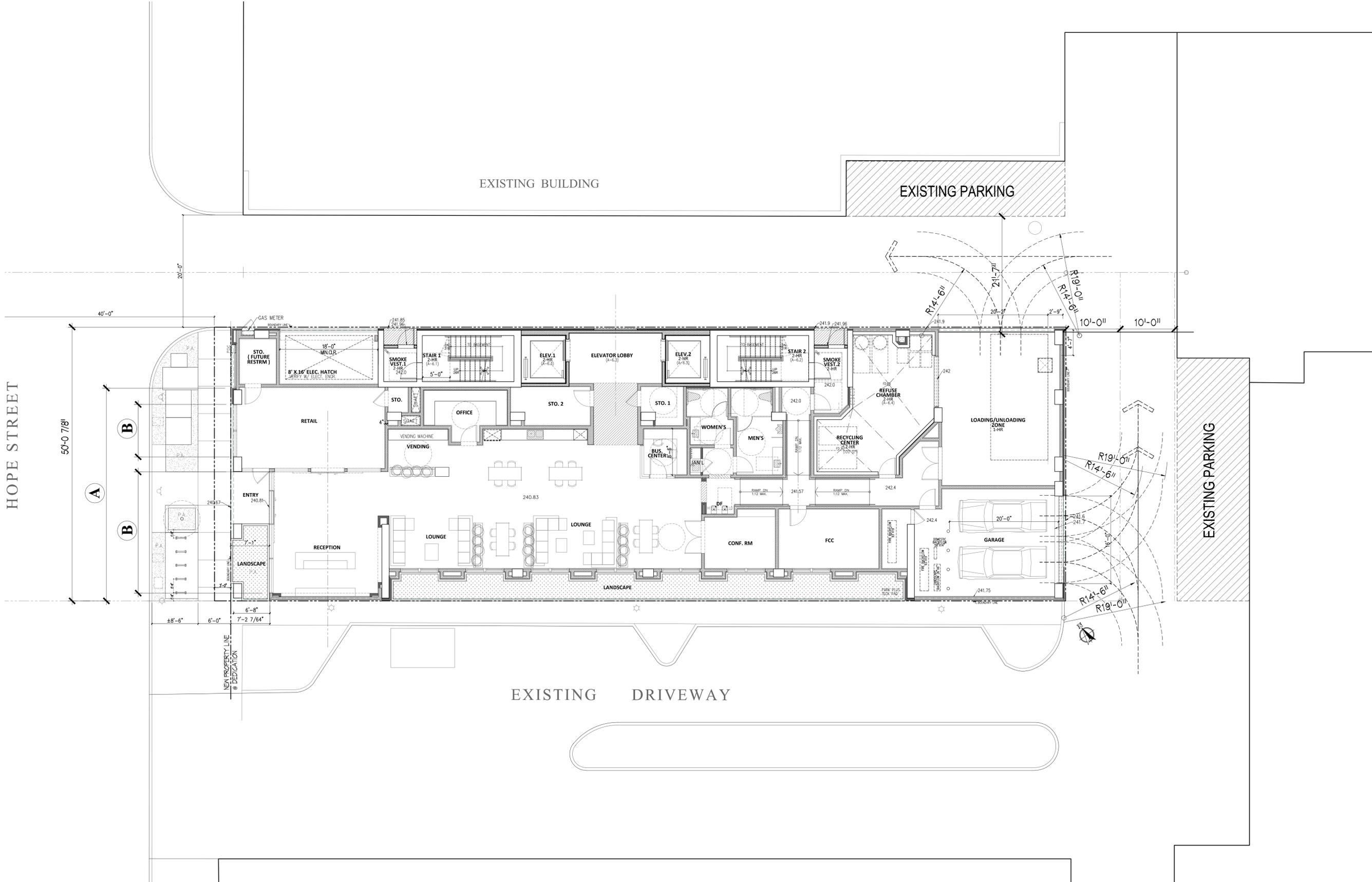
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
DD SUBM. DATE: 02/15/21
PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

Sheet Title :
L1 - GROUND FLOOR PLAN

Sheet No. :
2.0



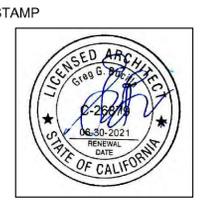
- A
FRONTAGE LOBBY & RETAIL
50'
37'-9" = 75% OF 50' FRONTAGE
- B
FRONTAGE STOREFRONT GLAZING
50'
31'-0" = 62% OF 50' FRONTAGE

L1-GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



ARCHITECT:
BUCILLA GROUP ARCHITECTURE
 ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VALU ENGINEERING
 19782 Mac Arthur Blvd., Suite 270, Irvine, Ca 92612
 TEL 949.851.9080 www.bg-architecture.com



Project : **HOTEL**
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

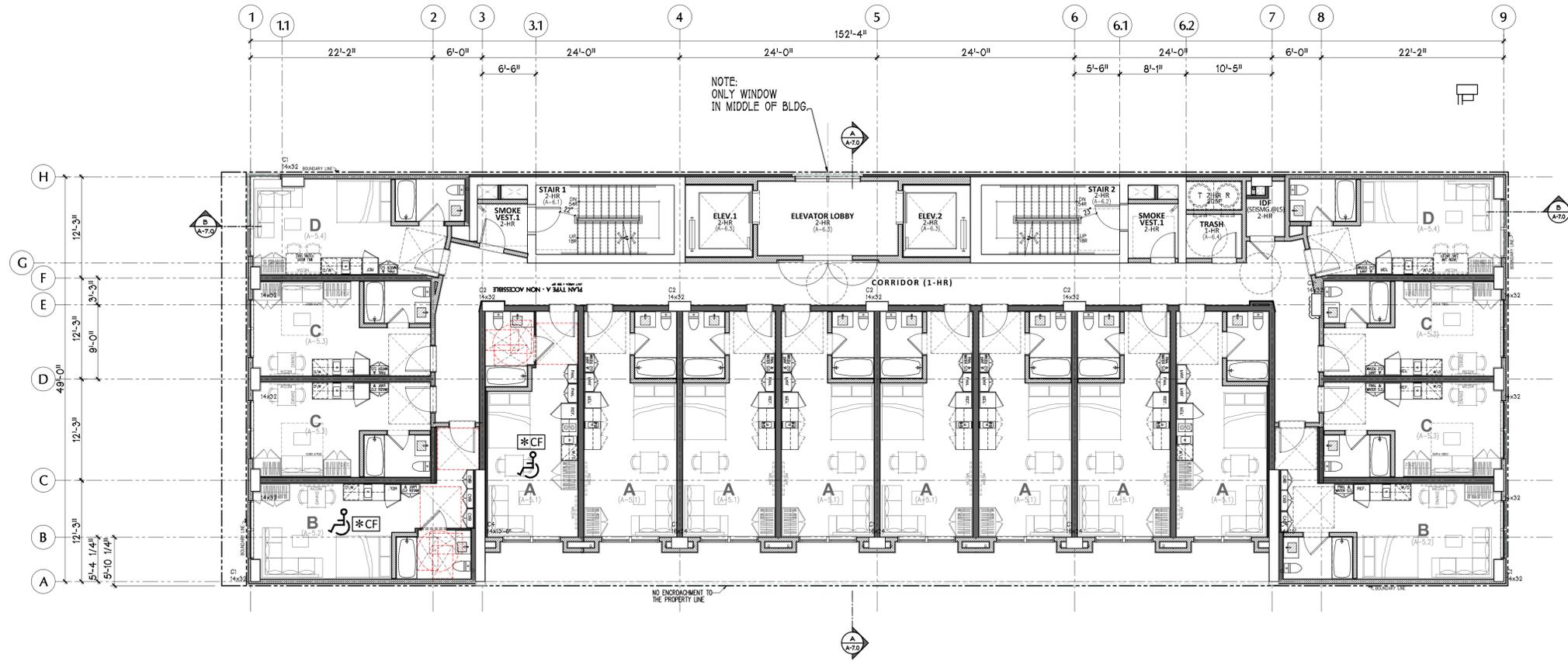
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

Project Number : **BGA No. 19036**

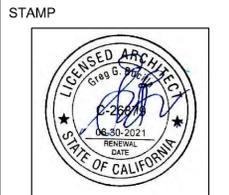
Sheet Title : **L1 - GROUND FLOOR PLAN**

Sheet No. : **2.0 A -(DOT)**



L4 TO L8 - UNIT LEVEL (WOOD CONSTRUCTION)
 SCALE: 1/8" = 1'-0"

ARCHITECT:
BUCILLA GROUP ARCHITECTURE
 INCORPORATED
 ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VLL ENGINEERING
 19782 MacArthur Blvd., Suite 270, Irvine, Ca 92612
 TEL 949.851.9080 www.bg-architecture.com
 BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave.,
 El Segundo, CA 90045

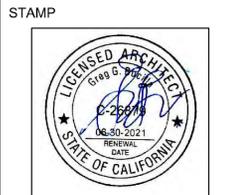
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO: ZA-2020-3658-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

Sheet Title :
L4 TO L8 - UNIT LEVEL (WOOD CONSTRUCTION)

Sheet No. :
4.1



ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015
 OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

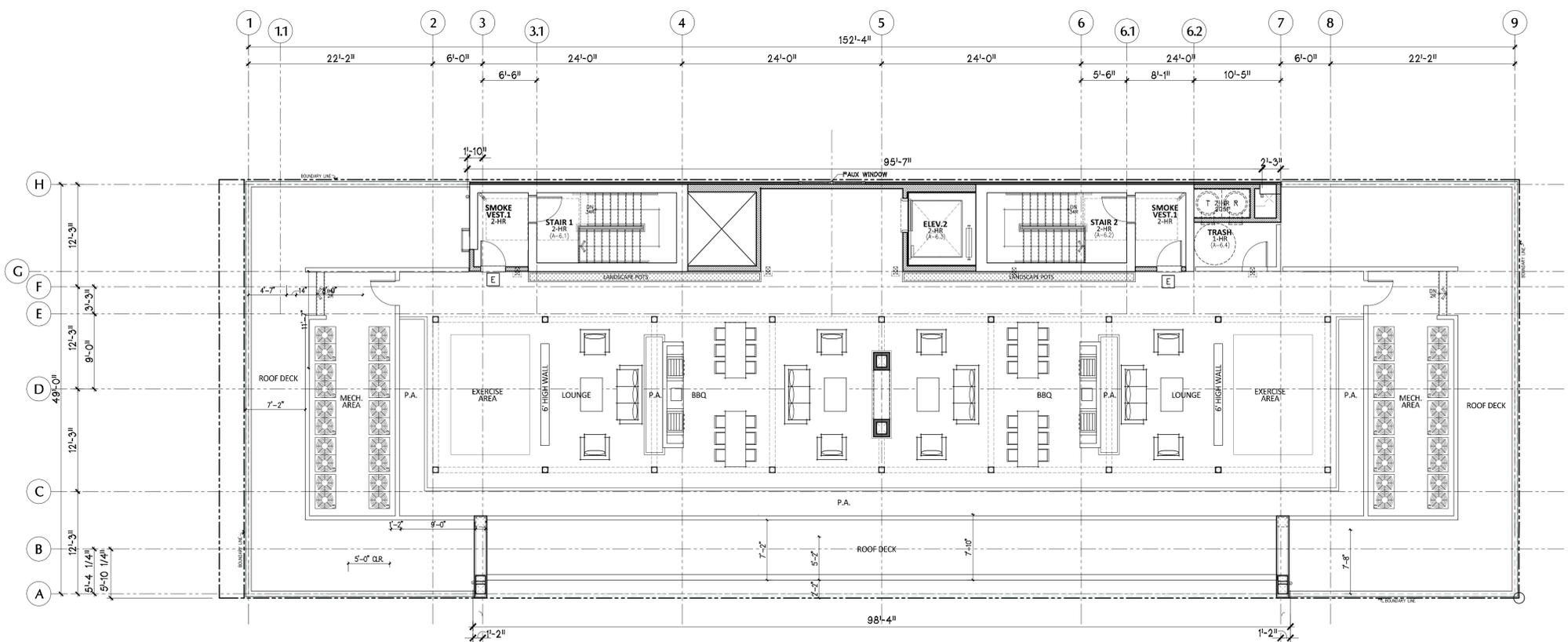
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

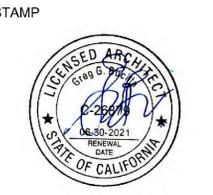
Project Number :
BGA No. 19036

Sheet Title :
L9 - ROOF DECK LEVEL

Sheet No. :
A-5.0



L9 - ROOF DECK LEVEL
 SCALE: 1/8" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015
 OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

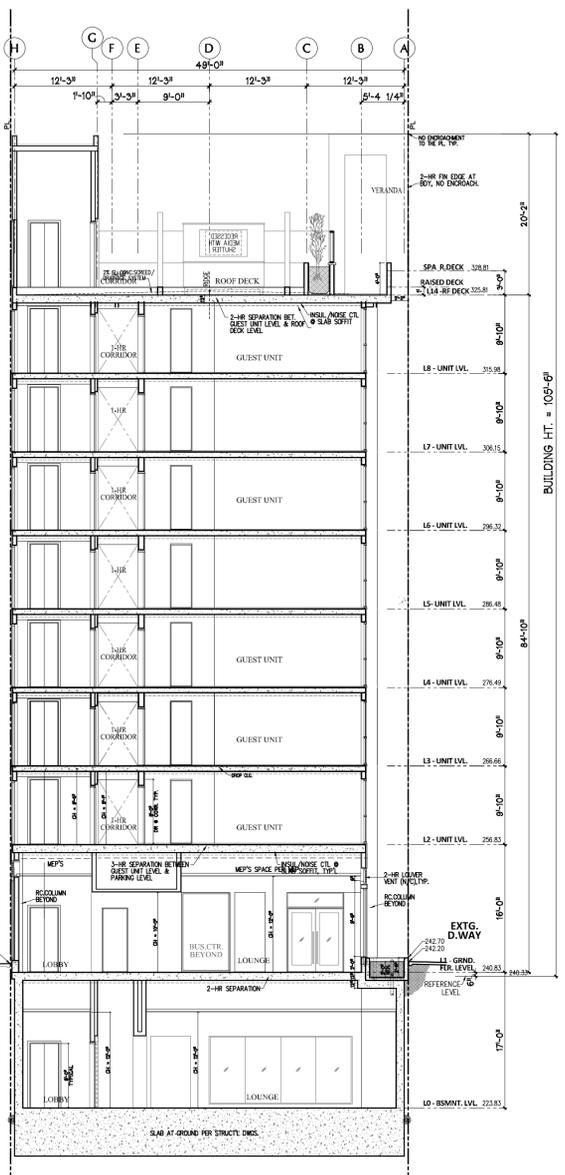
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

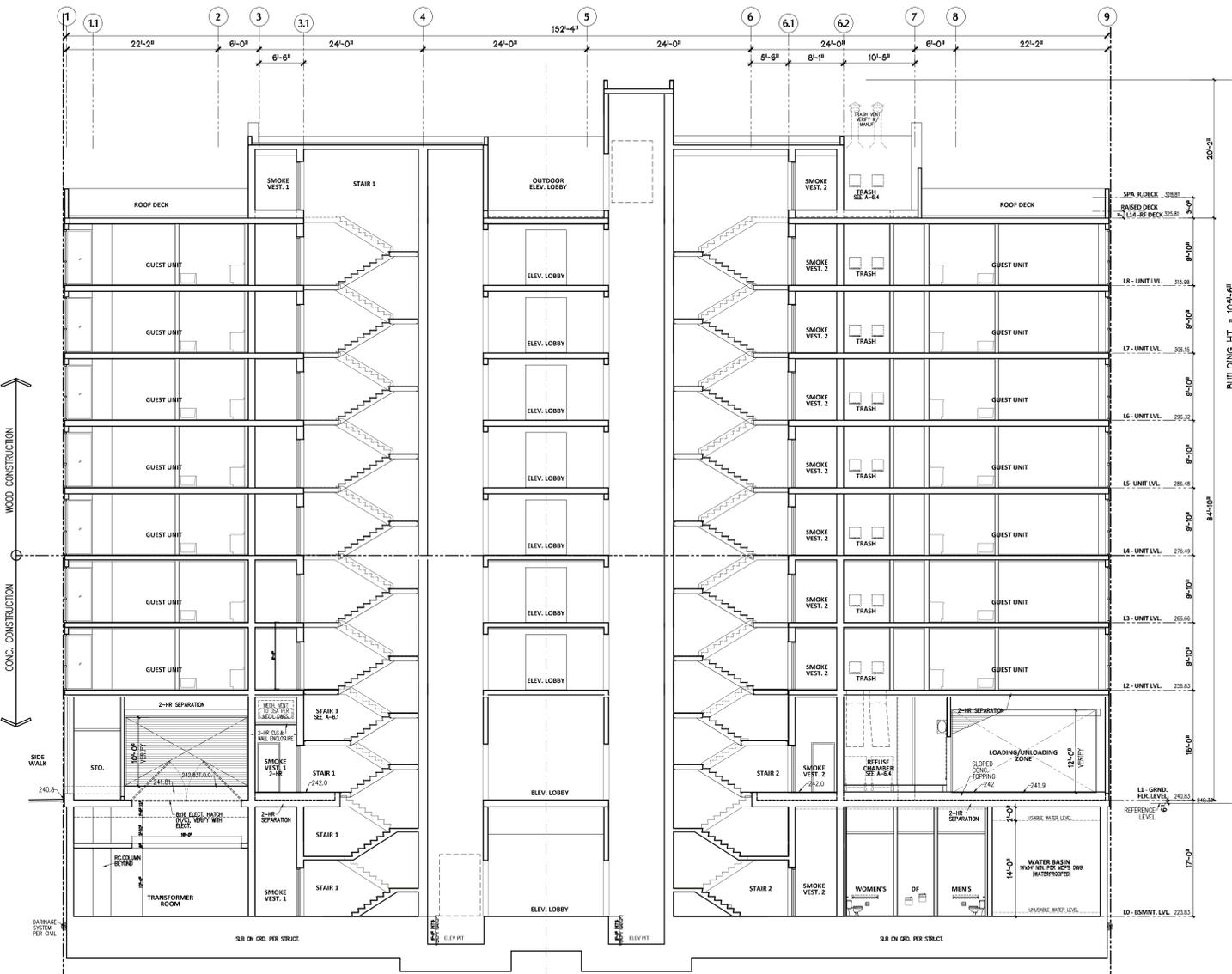
Project Number :
BGA No. 19036

Sheet Title :
SECTION A - A
SECTION B - B

Sheet No. :
7.0

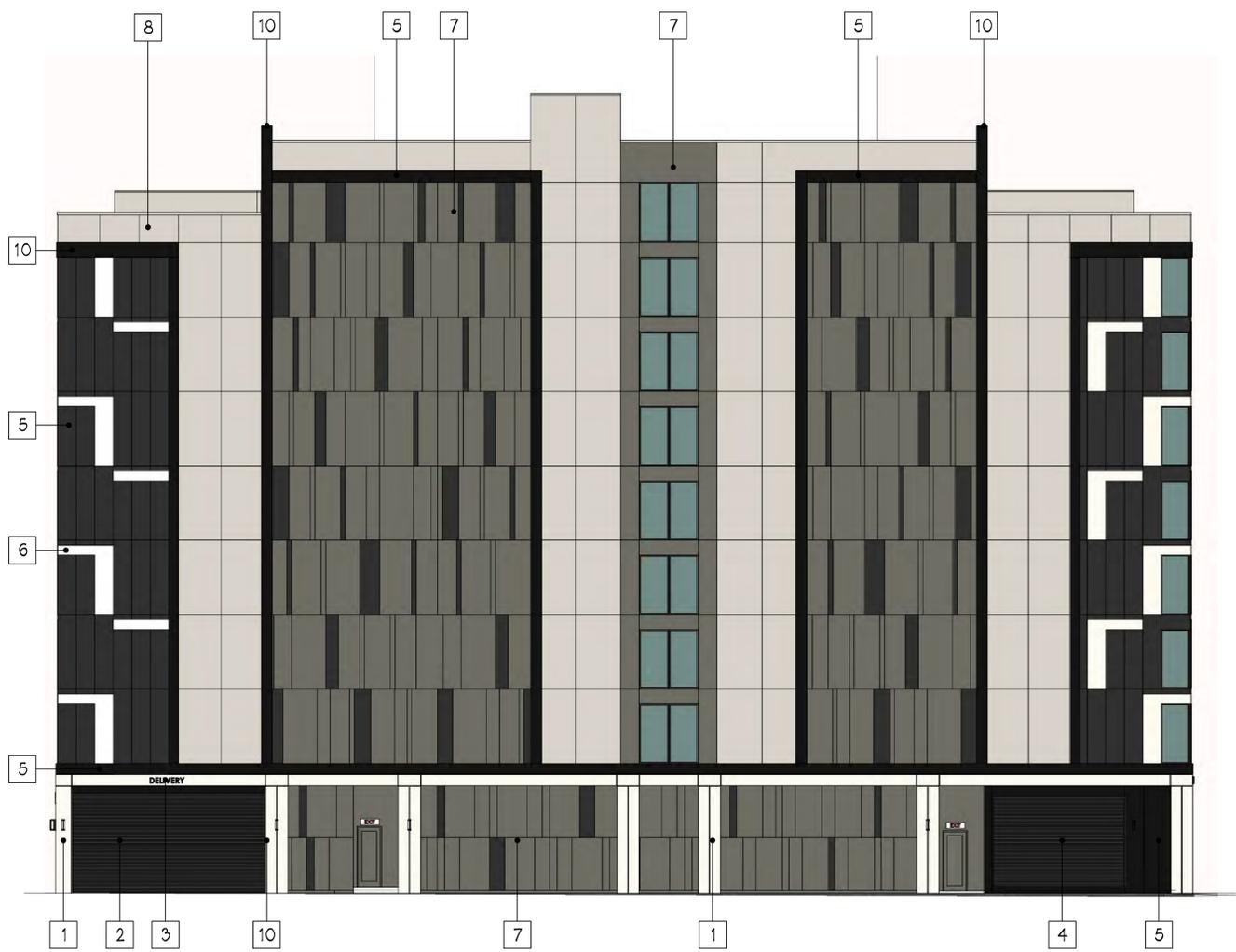


SECTION A - A
 SCALE: 3/32" = 1'-0"



SECTION B - B
 SCALE: 3/32" = 1'-0"





NORTH ELEVATION (LEFT SIDE)

SCALE: 3/32" = 1'-0"



WEST ELEVATION (FRONT)

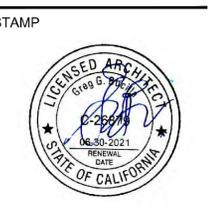
SCALE: 3/32" = 1'-0"



BUILDING COLOR AND MATERIAL SUMMARY			
No.	Arch Element / Location	Specification / Color	Glazing
1	Facade / Bldg base L1	Trespa Panel / aluminum	
2	Store Front / frontage & side	Aluminum / Dark Bronze	PPG/Starphire
3	Signage	Trespa Panel / aluminum	
4	Roll up Doors	Ribbed Metal / Med Grey	
5	Horiz & Vert Panel / L2 - L9	Trespa Panel / Black	
6	Horiz & Vert Accent Panels / L2 - L9	Trespa Panel / White	
7	Wall Panel / L2 - L9	Trespa Panel / Med & Dk Grey	
8	Wall Panel / L2 - L9	Trespa Panel / Lite Grey	
9	Windows / L1 - L8	Aluminum / Dark Bronze	PPG/Starphire
10	Fin Walls / L1 - L9	Trespa Panel / Black	
11	Glass Panel / inserted into u-shaped channel	Aluminum / Dark Bronze	PPG/Starphire
12	Structures / Roof	Cool Roof / Lite Grey	
13	Columns / Rooftop	Tube Steel / Dark Bronze	
14	Raised Pavers / Rooftop	Stone / Travertine Grey	

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VALUE ENGINEERING
 19782 MacArthur Blvd., Suite 270, Irvine, CA 92612
 TEL. 949.851.9080 www.bg-architecture.com



ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520	04/15/20	SPR Submittal
060420	06/04/20	SPR Resubmittal
090920	09/09/20	SPR Resubmittal
100820	10/08/20	SPR Resubmittal

CASE NO.: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

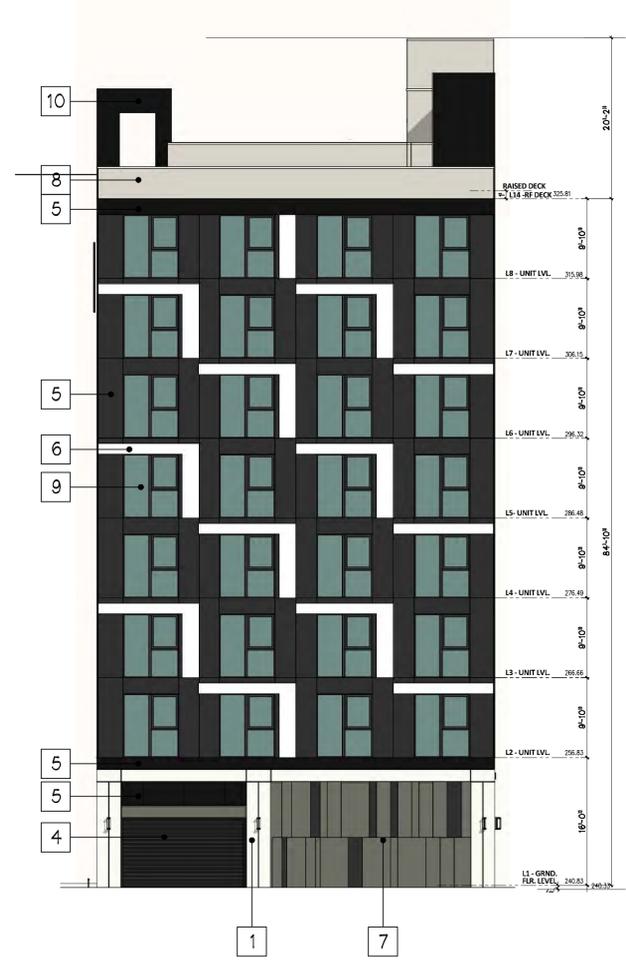
Sheet Title :
**LEFT SIDE ELEV.
 FRONT ELEV**

Sheet No. :
8.1



SOUTH ELEVATION (RIGHT SIDE)

SCALE: 3/32" = 1'-0"



EAST ELEVATION (REAR)

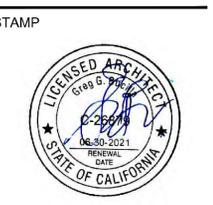
SCALE: 3/32" = 1'-0"



BUILDING COLOR AND MATERIAL SUMMARY			
No.	Arch Element / Location	Specification / Color	Glazing
1	Facade / Bldg base L1	Trespa Panel / aluminum	
2	Store Front / frontage & side	Aluminum / Dark Bronze	PPG/Starphire
3	Signage	Trespa Panel / aluminum	
4	Roll up Doors	Ribbed Metal / Med Grey	
5	Horiz & Vert Panel / L2 - L9	Trespa Panel / Black	
6	Horiz & Vert Accent Panels / L2 - L9	Trespa Panel / White	
7	Wall Panel / L2 - L9	Trespa Panel / Med & Dk Grey	
8	Wall Panel / L2 - L9	Trespa Panel / Lite Grey	
9	Windows / L1 - L8	Aluminum / Dark Bronze	PPG/Starphire
10	Fin Walls / L1 - L9	Trespa Panel / Black	
11	Glass Panel / inserted into u-shaped channel	Aluminum / Dark Bronze	PPG/Starphire
12	Structures / Roof	Cool Roof / Lite Grey	
13	Columns / Rooftop	Tube Steel / Dark Bronze	
14	Raised Pavers / Rooftop	Stone / Travertine Grey	

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VILLAGE ENGINEERING
 19782 MacArthur Blvd., Suite 270, Irvine, Ca 92612
 TEL. 949. 851. 9080 www.bg-architecture.com



ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

CASE NO.: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

Sheet Title :
**RIGHT SIDE ELEV.
 REAR ELEV**

Sheet No. :
8.2

STAMP

ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave.,
 El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520	SPR	Submittal
060420	SPR	Resubmittal
090920	SPR	Resubmittal
100820	SPR	Resubmittal

CASE NO.: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

Sheet Title :
L1 - COMPOSITE LANDSCAPE PLAN

Sheet No. :
L-1



STREET LANDSCAPE: LEVEL 1
 SEE ENLARGEMENT ON SHEET L-2.

ROOF DECK LANDSCAPE: LEVEL 9
 SEE ENLARGEMENT ON SHEET L-3.

EXISTING ALLEY

HOPE STREET

EXISTING ALLEY

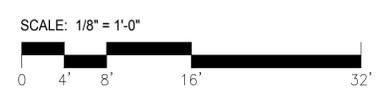
EXISTING DRIVEWAY

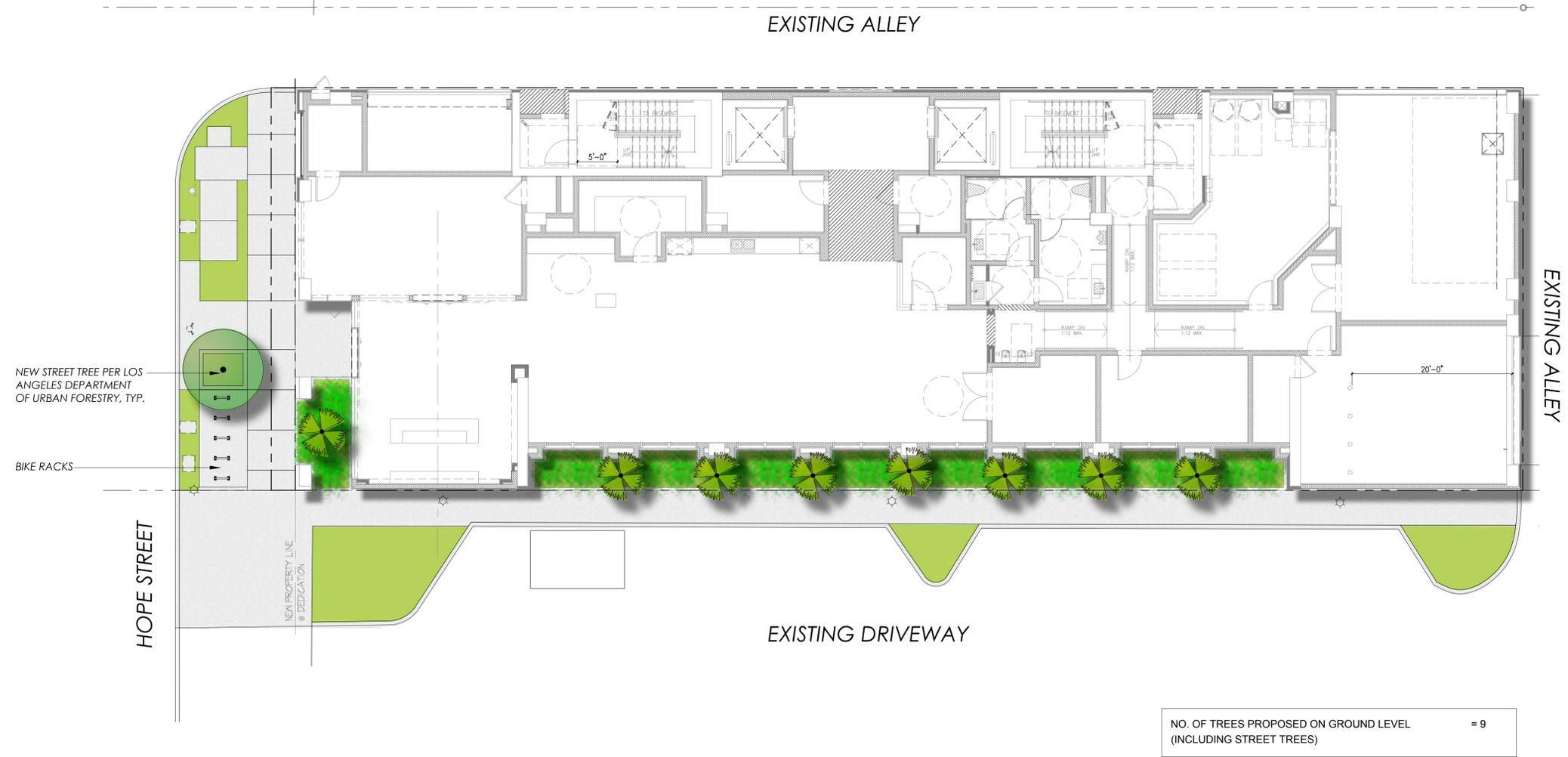
GENERAL NOTES:

1. ALL LANDSCAPE AREAS WILL BE IRRIGATED W/ A HIGH EFFICIENCY IRRIGATION W/ SMART IRRIGATION CONTROLS.
2. ALL PLANTING & IRRIGATION SHALL COMPLY WITH CITY OF LOS ANGELES REQUIREMENTS.
3. IRRIGATION DESIGN WILL INCORPORATE EPA WATERSENSE SPECIFICATIONS
4. STREET TREES SHALL BE SELECTED AND INSTALLED PER CITY OF LOS ANGELES DEPARTMENT OF URBAN FORESTRY.
5. ALL NEW PLANTED AREAS TO BE HEAVILY MULCHED FOR WATER CONSERVATION.
6. THERE ARE NO SIGNIFICANT TREES TO BE REMOVED ON THE SITE.
7. THERE ARE NO PROTECTED TREES ON THE SITE.

WATER CONSERVATION STATEMENT:

ALL LANDSCAPE WILL BE SPECIFIED, PLANTED & IRRIGATED ACCORDING TO XERISCAPE DESIGN PRINCIPLES WHICH INCLUDE: THE PREDOMINANT USE OF DROUGHT TOLERANT PLANT MATERIALS; THE PRACTICE OF HYDROZONING OR GROUPING PLANTS WITH SIMILAR WATER REQUIREMENTS TOGETHER; MINIMIZING TURF AREAS AND THE EFFICIENT APPLICATION OF WATER BY USING MATCH PRECIPITATION HEADS, DRIP LINE, SEPARATE VALVES FOR TURF AND GROUND COVER AREAS AND RAIN SHUT OFF DEVICES. THIS PROJECT WILL COMPLY WITH THE STATE WATER CONSERVATION ORDINANCE EFFECTIVE JANUARY 1, 2010.





NOTE: PLANTS SHALL BE CHOSEN FROM THE FOLLOWING LIST.
 ALL PLANT TYPES MAY NOT BE SPECIFIED.

PLANT LEGEND - GROUND FLOOR	
SYMBOL	BOTANICAL NAME "COMMON NAME"
TREE - 24" BOX MIN.	
	PHOENIX ROEBELENI "PYGMY DATE PALM"
SHRUBS BELOW PALMS	
	CARISSA MACROCARPA "NATAL PLUM"
	PHILODENDRON 'XANADU' "XANADU PHILODENDRON"

STAMP
 ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015
 OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal
090920		SPR Resubmittal
100820		SPR Resubmittal

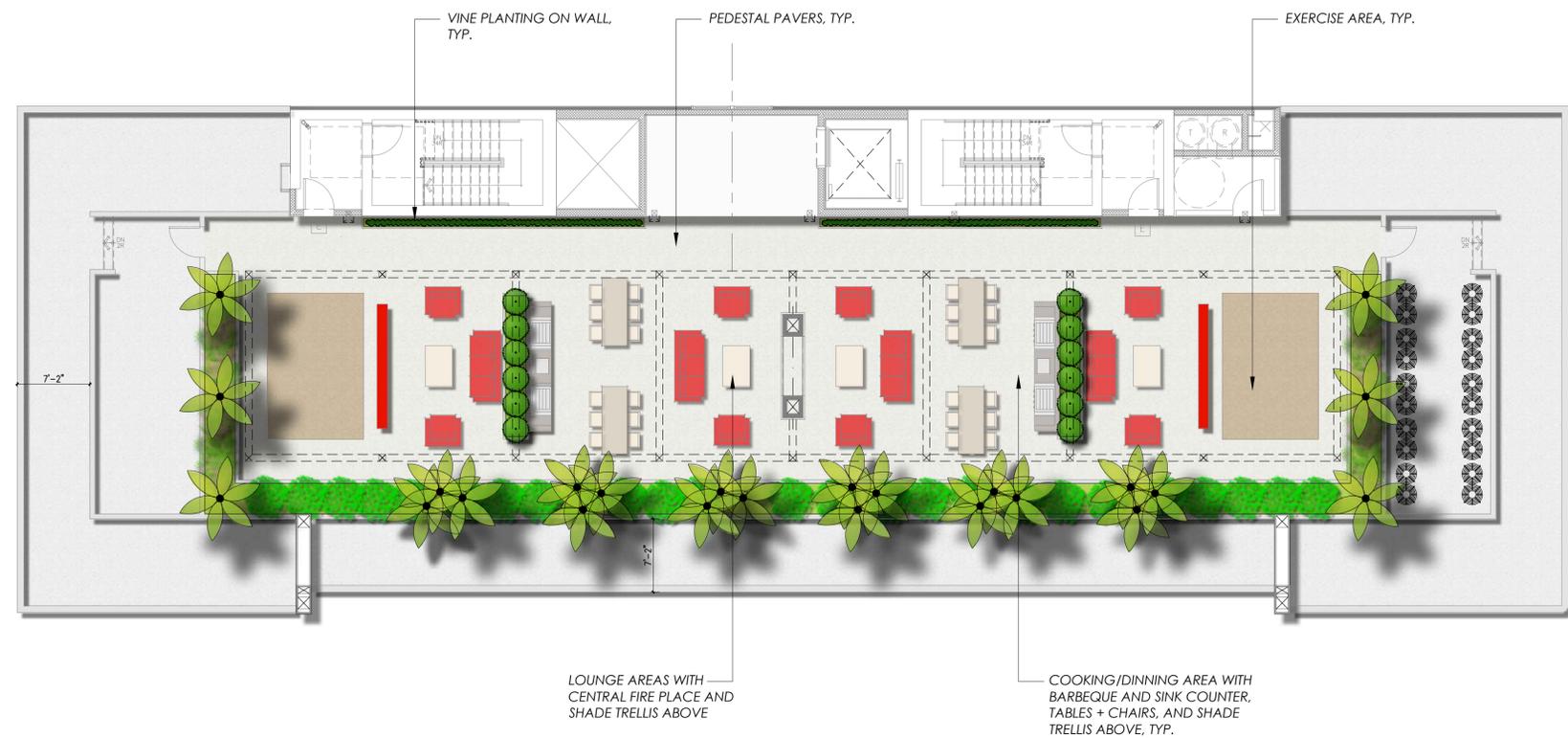
CASE NO.: 2A-2020-3656-TDR-ZAA-RDPA-RDP-SPR
 DD SUBM. DATE: 02/15/21
 PLOT DATE: 02/03/21

Project Number :
BGA No. 19036

Sheet Title :
**L1 - GROUND FLOOR
 LANDSCAPE PLAN**

Sheet No. :
L-2





NOTE: PLANTS SHALL BE CHOSEN FROM THE FOLLOWING LIST.
ALL PLANT TYPES MAY NOT BE SPECIFIED.

PLANT LEGEND - ROOF DECK	
SYMBOL	BOTANICAL NAME "COMMON NAME"
PALMS	
	ARCHONTOPHOENIX CUNNINGHAMIANA "KING PALM"
TRIPLE TRUNK PALMS	
	ARCHONTOPHOENIX CUNNINGHAMIANA "KING PALM"
SHRUBS BELOW PALMS	
	ALOE STRIATA "CORAL ALOE"
	ALOE SPINOSISSIMA "SPIDER ALOE"
	CARISSA MACROCARPA "NATAL PLUM"
	PHILODENDRON 'XANADU' "XANADU PHILODENDRON"
	PELARGONIUM SPECIES "GERANIUM"
	ROSA SPECIES "ROSES"
	STRELITZIA REGINAE "BIRD OF PARADISE"
SCREEN PLANTINGS	
	PODOCARPUS HENKELII
	PRUNUS CAROLINIANA
LOW-FLOWERING SHRUBS	
	CISTUS SPECIES "ROCK ROSE"
	DIETES SPECIES "FORTNIGHT LILY"
	KNIPHOFIA SPECIES "RED HOT POKER"
	SALVIA SPECIES "SAGE"
	NANDINA SPECIES "HEAVENLY BAMBOO"
VINES	
	FICUS PUMILA "CLIMBING FIG"
	PARTHENOCISSUS TRICUSPIDATA "BOSTON IVY"
	HEDERA HELIX "ENGLISH IVY"

NO.	DATE	DESCRIPTION
041520	SPR Submittal	
060420	SPR Resubmittal	
090920	SPR Resubmittal	
100820	SPR Resubmittal	





APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number ZA-2021-1985-CUB

Env. Case Number _____

Application Type _____

Case Filed With (Print Name) _____ Date Filed _____

Application includes letter requesting:

Waived hearing Concurrent hearing Hearing not be scheduled on a specific date (e.g. vacation hold)

Related Case Number _____

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Detailed filing instructions are found on form CP-7810

1. PROJECT LOCATION

Street Address¹ 659 S Broadway /307 W 7TH ST/309 W 7TH ST/311 W 7TH ST Unit/Space Number GL106

Legal Description² (Lot, Block, Tract) 129A211 258

Assessor Parcel Number 5144003040 Total Lot Area 10,448.5 (sq ft)

2. PROJECT DESCRIPTION

Present Use Deli / Market with Packaged Goods

Proposed Use Deli / Market with Packaged Goods seeking a CUB for off-site consumption of Beer/Wine

Project Name (if applicable) Garo's Deli

Describe in detail the characteristics, scope and/or operation of the proposed project Garo's Deli is an existing establishment asking for an allowance to sell beer and wine for consumption off-site of premises.

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- Site is undeveloped or unimproved (i.e. vacant)
- Site has existing buildings (provide copies of building permits)
- Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)
- Site is located within 500 feet of a freeway or railroad
- Site is located within 500 feet of a sensitive use (e.g. school, park)
- Site has special designation (e.g. National Historic Register, Survey LA)

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)

² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: _____ square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing N/A – Demolish(ed)³ N/A + Adding N/A = Total N/A
 Number of Affordable Units⁴ Existing N/A – Demolish(ed) N/A + Adding N/A = Total N/A
 Number of Market Rate Units Existing N/A – Demolish(ed) N/A + Adding N/A = Total N/A
 Mixed Use Projects, Amount of Non-Residential Floor Area: _____ N/A _____ square feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form to BOE? (required) YES NO
 Is your project required to dedicate land to the public right-of-way? YES NO
 If so, what is/are your dedication requirement(s)? N/A ft.
 If you have dedication requirements on multiple streets, please indicate: N/A

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section 12.24w1

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: The sale or dispensing for consideration of alcoholic beverages, including beer and wine, for consumption on the premises or off-site of the premises in a C5 zone.

Authorizing Code Section _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) Please see attached

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. N/A Ordinance No.: N/A

- Condition compliance review
- Clarification of Q (Qualified) classification
- Modification of conditions
- Clarification of D (Development Limitations) classification
- Revision of approved plans
- Amendment to T (Tentative) classification
- Renewal of entitlement
- Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

N/A

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

- a. Specialized Requirement Form N/A
- b. Geographic Project Planning Referral N/A
- c. Citywide Design Guidelines Compliance Review Form _____
- d. Affordable Housing Referral Form N/A
- e. Mello Form N/A
- f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form N/A
- g. HPOZ Authorization Form N/A
- h. Management Team Authorization N/A
- i. Expedite Fee Agreement N/A
- j. Department of Transportation (DOT) Referral Form N/A
- k. Preliminary Zoning Assessment Referral Form N/A
- l. SB330 Preliminary Application N/A
- m. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) N/A
- n. Order to Comply N/A
- o. Building Permits and Certificates of Occupancy Attached
- p. Hillside Referral Form (BOE) N/A
- q. Low Impact Development (LID) Referral Form (Storm water Mitigation) N/A
- r. SB330 Determination Letter from Housing and Community Investment Department N/A
- s. Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name DK Marikian
Company/Firm Garos Deli LLC
Address: 659 S Broadway Unit/Space Number GL106
City Los Angeles State CA Zip Code: 90014
Telephone (626) 255-9920 E-mail: dk@garosdeli.com
Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant
Name (if different from applicant) Los Angeles United Investments LLC (Peklar Pilavjian)
Address 650 S Hill Unit/Space Number 1010
City Los Angeles State CA Zip Code: 90014
Telephone (213) 308-0007 E-mail: peklar@pilavjianinvestments.com

Agent/Representative name Claudia Oliveira
Company/Firm Rohe Agency
Address: 600 S Spring Street Unit/Space Number 1001
City Los Angeles State CA Zip: 90014
Telephone (213) 321-8264 E-mail: claudiaoliveiraforus@gmail.com

Other (Specify Architect, Engineer, CEQA Consultant etc.) N/A
Name _____
Company/Firm _____
Address: _____ Unit/Space Number _____
City _____ State _____ Zip Code: _____
Telephone _____ E-mail: _____

Primary Contact for Project Information Owner Applicant
(select only one) Agent/Representative Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

PROPERTY OWNER

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature 

Date 01-13-2021

Print Name PEKLAR A. PILAVTIAN

Signature _____

Date _____

Print Name _____

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On January 13, 2021 before me, Kim Bernabe, Notary Public
(Insert Name of Notary Public and Title)

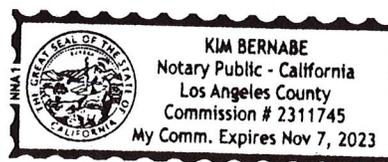
personally appeared PEKlor A. Pilavjian, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in his/~~her~~/their authorized capacity(~~ies~~), and that by his/~~her~~/their signature(~~s~~) on the instrument the person(~~s~~), or the entity upon behalf on which the person(~~s~~) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Signature

(Seal)



Civil Code 1188

California All-Purpose Acknowledgment

A notary public or other officer conducting this certificate renders only the truth of the facts stated in the document for which this certificate is attached, and not the truthfulness, accuracy or validity of that document.

State of California

County of Los Angeles

City of Los Angeles

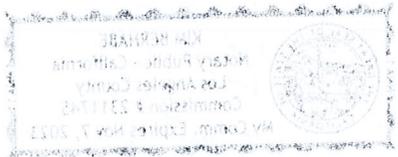
On this 15th day of August, 2021

before me,

Notary Public, My Commission Expires

I, the undersigned, a Notary Public for the State of California, do hereby certify that the foregoing is the true and correct copy of the instrument presented to me on the basis of satisfactory evidence to be the person(s) whose names (are subscribed to the within instrument and whose knowledge in the last foregoing executed the same in his/her/their individual and/or joint capacity) and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing is true and correct.



WITNESSE my hand and seal this _____ day of _____, 2021.

(Signature)

(Signature)



**State of California
Secretary of State**

L

88

MM

**STATEMENT OF INFORMATION
(Limited Liability Company)**

Filing Fee \$20.00. If this is an amendment, see instructions.

IMPORTANT — READ INSTRUCTIONS BEFORE COMPLETING THIS FORM

16-404380

FILED
Secretary of State
State of California

APR 05 2016

1. LIMITED LIABILITY COMPANY NAME
Los Angeles United Investment Co., LLC

26/20/CC

This Space For Filing Use Only

File Number and State or Place of Organization

2. SECRETARY OF STATE FILE NUMBER **199626210044**

3. STATE OR PLACE OF ORGANIZATION (if formed outside of California)

No Change Statement

4. If there have been any changes to the information contained in the last Statement of Information filed with the California Secretary of State, or no Statement of Information has been previously filed, this form must be completed in its entirety.
 If there has been no change in any of the information contained in the last Statement of Information filed with the California Secretary of State, check the box and proceed to Item 15.

Complete Addresses for the Following (Do not abbreviate the name of the city. Items 5 and 7 cannot be P.O. Boxes.)

5. STREET ADDRESS OF PRINCIPAL OFFICE CITY STATE ZIP CODE
650 S. Hill Street #1010 Los Angeles CA 90014

6. MAILING ADDRESS OF LLC, IF DIFFERENT THAN ITEM 5 CITY STATE ZIP CODE

7. STREET ADDRESS OF CALIFORNIA OFFICE CITY STATE ZIP CODE
650 S. Hill Street #1010 Los Angeles CA 90014

Name and Complete Address of the Chief Executive Officer, If Any

8. NAME ADDRESS CITY STATE ZIP CODE

Name and Complete Address of Any Manager or Managers, or if None Have Been Appointed or Elected, Provide the Name and Address of Each Member (Attach additional pages, if necessary.)

9. NAME ADDRESS CITY STATE ZIP CODE
Karabet Akpulat 3806 Alonzo Ave. Encino CA 91316

10. NAME ADDRESS CITY STATE ZIP CODE
Bedros Oruncakciel 18246 Anna Lane Tarzana CA 91356

11. NAME ADDRESS CITY STATE ZIP CODE
Peklar Pilavjian 4946 Gloria Ave Encino CA 91346

Agent for Service of Process If the agent is an individual, the agent must reside in California and Item 13 must be completed with a California address, a P.O. Box is not acceptable. If the agent is a corporation, the agent must have on file with the California Secretary of State a certificate pursuant to California Corporations Code section 1505 and Item 13 must be left blank.

12. NAME OF AGENT FOR SERVICE OF PROCESS
Nejdeh Avedian

13. STREET ADDRESS OF AGENT FOR SERVICE OF PROCESS IN CALIFORNIA, IF AN INDIVIDUAL CITY STATE ZIP CODE
650 S. Hill Street #1010 Los Angeles CA 90014

Type of Business

14. DESCRIBE THE TYPE OF BUSINESS OF THE LIMITED LIABILITY COMPANY
Real Estate Investment

15. THE INFORMATION CONTAINED HEREIN, INCLUDING ANY ATTACHMENTS, IS TRUE AND CORRECT.

3/16/2016
DATE

Karabet Akpulat
TYPE OR PRINT NAME OF PERSON COMPLETING THE FORM

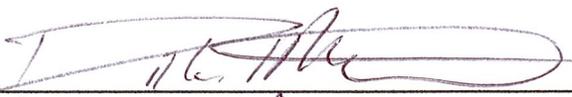
President
TITLE

Karabet Akpulat
SIGNATURE

APPLICANT

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: 
Print Name: Dikran Marikyan

Date: 1/8/21

**OPTIONAL
NEIGHBORHOOD CONTACT SHEET**

9. **SIGNATURES** of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is not required, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).

SPECIAL INSTRUCTIONS FOR ALCOHOL (CUB) & ADULT ENTERTAINMENT ESTABLISHMENTS (CUX) – LAMC 12.24 W.1 & 12.24 W.18

City of Los Angeles – Department of City Planning

The Special Instructions for Alcohol (CUB) & Adult Entertainment Establishments is a required attachment to the *MASTER LAND USE APPLICATION INSTRUCTIONS* (CP-7810). Only utilize this form when filing for a conditional use permit pursuant to LAMC Section 12.24 W.1 for alcohol establishments or pursuant to 12.24 W.18 for adult entertainment establishments.

ADDITIONAL REQUIREMENTS/FINDINGS FOR APPROVAL OF A CUB or CUX:

For a CUB or CUX request to be considered, the following additional information and findings must be provided.

1. RADIUS MAP REQUIREMENTS. In addition to the Public Noticing requirements detailed in the Master Land Use Application Instructions (CP-7810):

- Radius Maps for alcohol uses must show land use to a 600-foot radius.
- A **LIST OF ALCOHOL ESTABLISHMENTS** between 600 and 1,000 feet of the site is required. Include in the list the type of license and address.
- A **LIST OF THE FOLLOWING USES** within 600 feet is also required:
 - (1) residential uses and type (single-family, apartment, hotel, etc.);
 - (2) churches;
 - (3) schools, including nursery schools and child-care facilities;
 - (4) hospitals;
 - (5) parks, public playgrounds and recreational areas; and
 - (6) establishments dispensing, for consideration, alcoholic beverages for consumption on or off premises.

2. FINDINGS (on a separate sheet)

a. General Conditional Use

- i. That the project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.
- ii. That the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.
- iii. That the project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.

b. Additional Findings

- i. Explain how the proposed use will not adversely affect the welfare of the pertinent community.
- ii. Explain how the approval of the application will not result in or contribute to an undue concentration of such establishments.
- iii. Explain how the approval of the application will not detrimentally affect nearby residential zones or uses.

3. **QUESTIONS REGARDING THE PHYSICAL DEVELOPMENT OF THE SITE**

- a. What is the total square footage of the building or center the establishment is located in? 10,448.5 sq ft
- b. What is the total square footage of the space the establishment will occupy? 1,582 sq ft
- c. What is the total occupancy load of the space as determined by the Fire Department? B2 occupancy
- d. What is the total number of seats that will be provided indoors? 30 Outdoors? 10
- e. If there is an outdoor area, will there be an option to consume alcohol outdoors? No
- f. If there is an outdoor area, is it on private property or the public right-of-way, or both? Private
 - i. If an outdoor area is on the public right-of-way, has a revocable permit been obtained? _____
- g. Are you adding floor area? No If yes, how much is enclosed? _____ Outdoors? _____

h. Parking

- i. How many parking spaces are available on the site? N/A
- ii. Are they shared or designated for the subject use? N/A
- iii. If you are adding floor area, what is the parking requirement as determined by the Department of Building & Safety? _____
- iv. Have any arrangements been made to provide parking off-site? No
 - 1. If yes, is the parking secured via a private lease or a covenant/affidavit approved by the Department of Building & Safety? _____

Note: Required parking must be secured via a covenant pursuant to LAMC 12.26 E 5. A private lease is only permitted by a Zone Variance.

- 2. Please provide a map showing the location of the off-site parking and the distance, in feet, for pedestrian travel between the parking area the use it is to serve.
- 3. Will valet service be available? No Will the service be for a charge? _____
- i. Is the site within 1,000 feet of any schools (public, private or nursery schools), churches or parks? No
- j. For massage parlors and sexual encounter establishments, is the site within 1,000 feet of any other Adult Entertainment Businesses as defined by LAMC 12.70 B17? N/A

4. **QUESTIONS REGARDING THE OPERATION OF THE ESTABLISHMENT**

- a. What are the proposed hours of operation and which days of the week will the establishment be open?

	M	Tu	W	Th	F	Sa	Su
Proposed Hours of Operation	8:00A - 7:00P	N/A					
Proposed Hours of Alcohol Sale	8:00A - 7:00P	8:00 - 7:00P	N/A				

b. Will there be entertainment such as a piano bar, dancing, live entertainment, movies, karaoke, video game machines, etc...? Please specify: No

Note: An establishment that allows for dancing needs a conditional use pursuant to 12.24 W.18.

c. Will there be minimum age requirements for entry? No If yes, what is the minimum age requirement and how will it be enforced? _____

d. Will there be any accessory retail uses on the site? Yes What will be sold? packaged goods

e. **Security**

i. How many employees will you have on the site at any given time? 8

ii. Will security guards be provided on-site? The building has 24 hour security

1. If yes, how many and when? 2 per shift

iii. Has LAPD issued any citations or violations? No If yes, please provide copies.

f. **Alcohol**

i. Will there be beer & wine only, or a full-line of alcoholic beverages available? Beer and Wine Only

ii. Will "fortified" wine (greater than 16% alcohol) be sold? No

iii. Will alcohol be consumed on any adjacent property under the control of the applicant? No

iv. Will there be signs visible from the exterior that advertise the availability of alcohol? No

v. **Food**

1. Will there be a kitchen on the site? Yes

2. Will alcohol be sold without a food order? Yes for Off-Site Consumption

3. Will the sale of alcohol exceed the sale of food items on a quarterly basis? No

4. Provide a copy of the menu if food is to be served.

vi. **On-Site**

1. Will a bar or cocktail lounge be maintained incidental to a restaurant? N/A

a. If yes, the floor plans must show the details of the cocktail lounge and the separation between the dining and lounge facilities.

2. Will off-site sales of alcohol be provided accessory to on-site sales ("Take Out")? N/A

a. If yes, a request for off-site sales of alcohol is required as well.

3. Will discounted alcoholic drinks ("Happy Hour") be offered at any time? N/A

vii. **Off-Site**

1. Will cups, glasses or other containers be sold which might be used for the consumption of alcohol on the premises? No
2. Will beer or wine coolers be sold in single cans, or will wine be sold in containers less than 1 liter (750 ml)? No

viii. Contact the CA Department of Alcoholic Beverage Control (ABC) regarding its requirements -- <http://www.abc.ca.gov/>.

5. **CALDERA BILL (CA Business and Professions Code Section 23958 and 23958.4)**

- a. Is this application a request for on-site or off-site sales of alcoholic beverages? Off-Site
- i. If yes, is the establishment a bona-fide eating place (restaurant) or hotel/motel? Deli / Market
 1. If no, contact the CA Department of Alcoholic Beverage Control (ABC) to determine whether the proposed site is located in an area whereby:
 - a. issuance of a license to serve alcohol on-site or off-site would tend to create a law enforcement problem, or
 - b. if issuance would result in, or add to an undue concentration of licenses.
- b. If ABC has determined that an eligible use is in an area of high crime or undue concentration of licenses, the City Council will need to make the finding that the issuance of the license is required for **public convenience or necessity**.

6. **ADDITIONAL REQUIREMENTS FOR MASTER CUBs/CUXs.** In addition to all requirements detailed in the Master Land Use Application Instructions (CP-7810), applications for Master CUBs/CUXs shall include:

- A separate sheet containing a table identifying all CUB or CUX requests on the subject site, indicating: the type of alcohol permit sought; the square footage of each particular restaurant, bar or event space; the identifying address or suite/unit number corresponding to each CUB/CUX request; and (if known) the tenant-operator of each alcohol or adult entertainment establishment.
- All CUB or CUX requests on the subject site clearly identified and labeled on the plot plan and applicable floor plans, indicating: each type of alcohol permit sought; the square footage of each particular restaurant, bar or event space; and the identifying address or suite/unit number corresponding to each CUB/CUX request.

NOTE: *Please consider submitting documents beyond the requirements outlined in this form. If there are other circumstances which may further a more complete understanding of the project, do not hesitate to submit such information. The documents submitted with the application and the public hearing constitute the **primary opportunity** to clarify and define the project.*

FINDINGS

a. General Conditional Use

i. That the project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.

The subject property consists of a total lot area of 10,448.5 sq ft divided into 18 parcels located between Broadway and Hill Street and 7th Street. The main entrance to the parcel in question faces the Saint Vincent Court Alley with only one entrance located on the Southern side of the property.

The subject Deli/Market is occupied by tenant operator Garo's Deli, an Armenian small business LLC asking for an additional allowance to its current use for the sales of Beer and Wine for off-site consumption focusing on a curated selection of mid to high range inventory including Kosher options (upon availability) fulfilling a community cultural need currently unmet in the immediate area. Garo's Deli Cafe and Market has been a staple establishment in the Historic Core and the Jewelry District being in business for 28 years. Nestled in the famous Saint Vincent Court Alley, this international market serves a large population of Armenian and Jewish stakeholders as well as visitors from other parts of Los Angeles.

ii. That the project's location, size, height, operations, and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.

The St. Vincent Court Alley where Garo's Deli is located has only one point of entrance thus making it strategically landscaped to deter unwelcome activity. Its surrounding retail make up is predominantly concise of Jewelry stores (all providing reinforced safety measures such as cameras and security) and the Alley itself is a well-lit mecca of eclectic bistros and Mediterranean restaurants and 24hr security measures administrated by the property management. Furthermore, the subject Garo's Deli has modest hours of operations, sensibly closing at 7:00 pm Monday through Saturday assuring that its new allowance will be no cause for nuisance.

Adding a conditional use permit allowing the sales of Beer and Wine for off-site consumption to Garo's Deli will potentially increase foot traffic to the alley, revitalizing the area back to its full potential, and re-activating the streets. This will be additionally beneficial with future re-activation of Broadway's theater district.

iii. That the project substantially conforms with the purpose, intent, and provisions of the General Plan, the applicable community plan, and any applicable specific plan.

The project was administratively reviewed by the Redevelopment Project Area Unit which found that it is consistent with The Central City Community Plan, and all city ordinances and regulations. The project has no intentions of doing any physical changes to the property or its historical facade. The project conforms with the community intent of revitalizing the Broadway corridor.

The subject property has a (Q)C5-4D-CDO-SN zoning code and it has been issued a certificate of occupancy

b. Additional Findings

i. Explain how the proposed use will not adversely affect the welfare of the pertinent community.

The project's location acts as a landscape deterrent for unwanted activity. The St. Vincent Court Alley is well-secured. The hours of the project are sensitive to the immediate neighbors. The proposed use will generate more foot traffic to the area enhancing not only the income influx for Garo's Deli but also to the adjacent retail and restaurants.

ii. Explain how the approval of the application will not result in or contribute to an undue concentration of such establishments.

Though Downtown Los Angeles has many 47 and 48 licenses, there's a shortage of establishments that cater to residents that wish to consume in the privacy of their homes. There's a per capita scarcity for off-site consumption beer and wine options especially for mid-range and culturally dedicated items (kosher and ports, for example). The proximity to the jewelry shops and gift shops also makes this location a one-stop-shop for many special occasions.

iii. Explain how the approval of the application will not detrimentally affect nearby residential zones or uses.

The application is asking for an allowance that is within the proper zoning and its goal is to enhance the user experience of not only residents of Downtown Los Angeles but also visitors.

**APPLICANT/CONSULTANT'S AFFIDAVIT
OWNER MUST SIGN AND BE NOTARIZED,
IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED**

PROPERTY OWNER	CONSULTANT/AGENT
I, (print name) <u>PEKLAR A. PILAVJIAN</u>	I, (print name) _____
Signature <u></u>	Signature _____

being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

Space Below for Notary's Use

California All-Purpose Acknowledgement

Civil Code Section 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

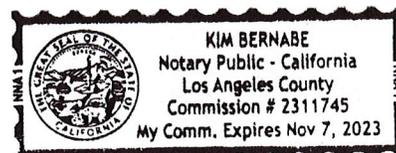
On January 13, 2021 before me, Kim Bernabe, Notary Public
(Insert Name of Notary Public and Title)

personally appeared Peklar A. Pilavjian, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

 (Seal)
Signature



APPLICANT/CONSULTANT'S AFFIDAVIT
 OWNER MUST SIGN AND BE NOTARIZED
 IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED

I (print name) <u>LUCKY W. A. F. 6V3 W-W</u>	PROPERTY OWNER Signature
I (print name) _____ Signature _____	CONSULTANT

I hereby swear, state that the statements and information including plans and other attachments contained in this Environmental Assessment Form are to all respects true and correct to the best of my knowledge and belief; I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of securing a larger Project or violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and approved. CEQA clearance is adopted or certified.

Space Below for Notary's Use

California All-Purpose Acknowledgment
 Civil Code Section 1189

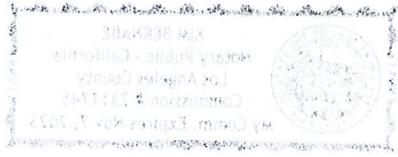
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
 County of Los Angeles

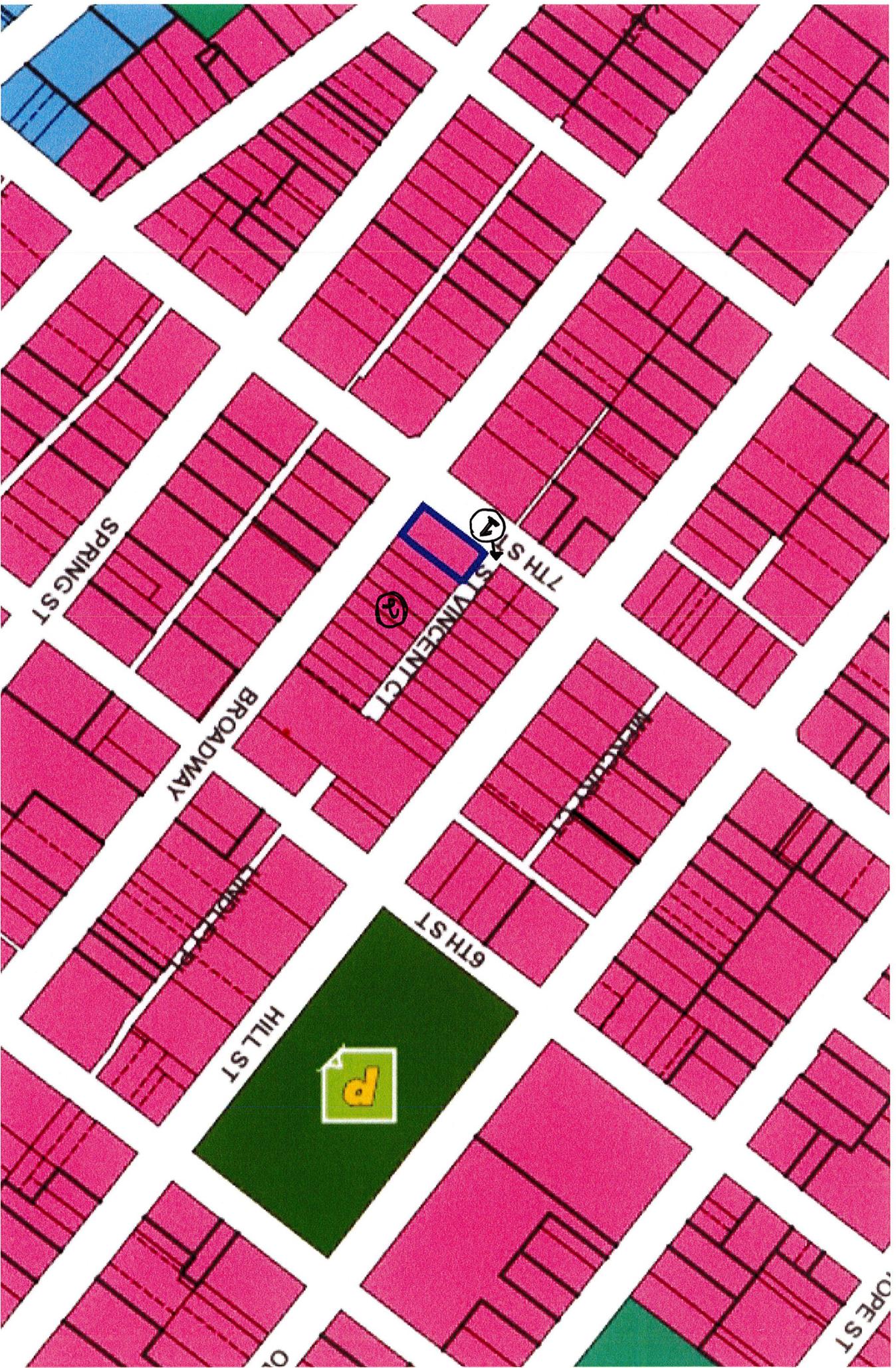
On February 2, 2021 before me, Kim Williams, Notary Public
 (print Name of Notary Public and Title)

personally appeared Peter A. Williams
 who is known to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed by his/her/their signature(s) on the instrument the execution of which the person(s) acknowledged the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing content is true and correct.

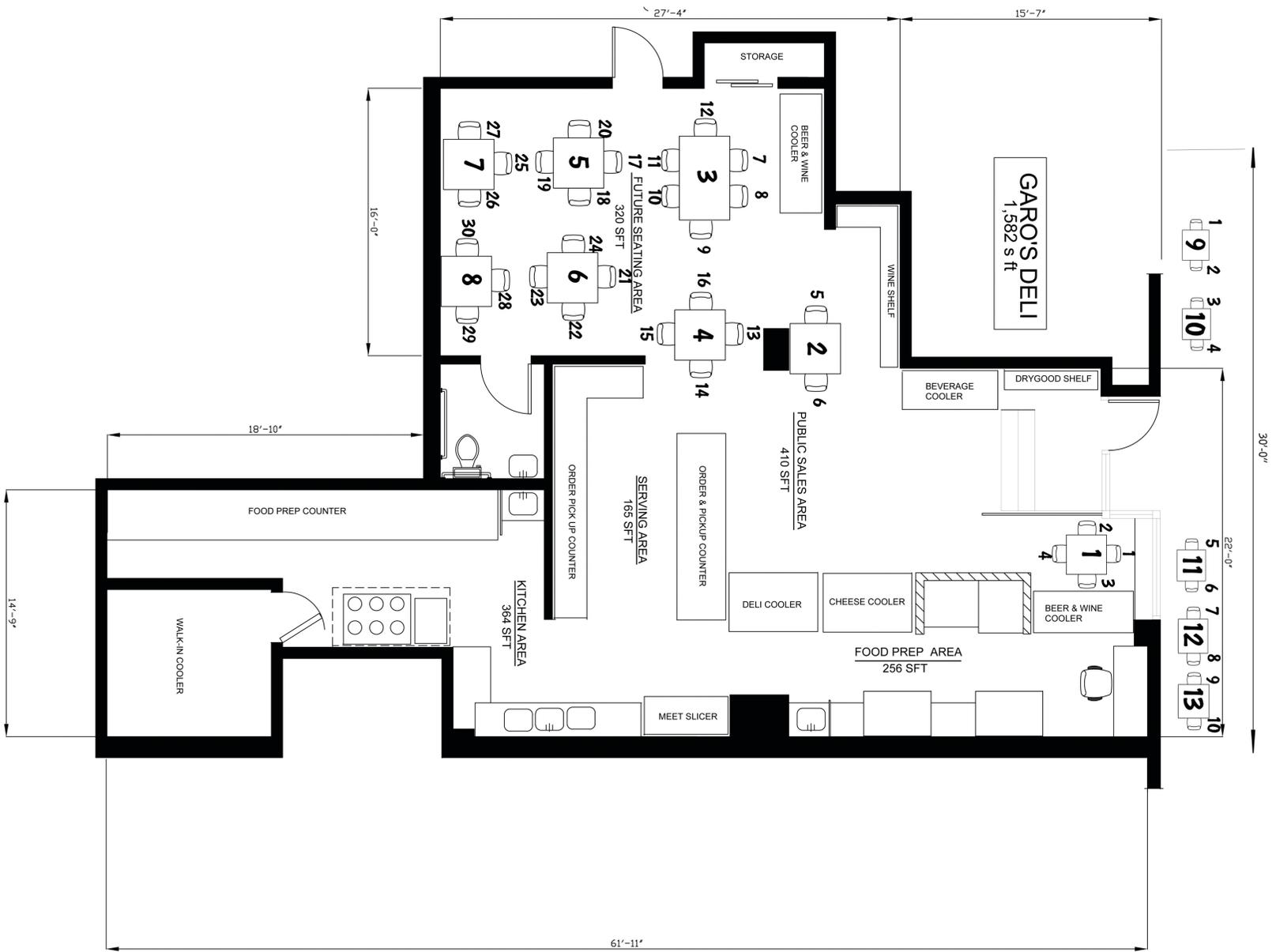


WITNESS my hand and official seal
Kim Williams
 Signature









	Floor Area	Seats
Indoor	1,582 sq ft	30
Outdoor	240 sq ft	10

SCALE
1/4"=1'-0"

JOB NO.
SHEET NO.
A-1

GARO'S DELI - NSUITE GL106
659 SOUTH BROADWAY
LOS ANGELES, CA
FIXTURE + FLOOR PLAN

OGANESSIAN ARCHITECTS
12601 classics dr. granada hills
california (818) 832-0090

09-03-20	•	•	•	•	•	•	•	•	•
•	•	•	•	•	•	•	•	•	•
•	•	•	•	•	•	•	•	•	•
•	•	•	•	•	•	•	•	•	•
•	•	•	•	•	•	•	•	•	•
•	•	•	•	•	•	•	•	•	•

