



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number _____ ZA-2020-3656-TDR-ZAA-RDPA-RDP-SPR _____

Env. Case Number _____ ENV-2020-3657-EAF _____

Application Type _____

Case Filed With (Print Name) _____ **Date Filed** _____

Application includes letter requesting:

- Waived hearing
 - Concurrent hearing
 - Hearing not be scheduled on a specific date (e.g. vacation hold)
- Related Case Number _____

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Detailed filing instructions are found on form CP-7810

1. PROJECT LOCATION

Street Address¹ _____ Unit/Space Number _____

Legal Description² (Lot, Block, Tract) _____

Assessor Parcel Number _____ Total Lot Area _____

2. PROJECT DESCRIPTION

Present Use _____

Proposed Use _____

Project Name (if applicable) _____

Describe in detail the characteristics, scope and/or operation of the proposed project _____

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- Site is undeveloped or unimproved (i.e. vacant)
- Site is located within 500 feet of a freeway or railroad
- Site has existing buildings (provide copies of building permits)
- Site is located within 500 feet of a sensitive use (e.g. school, park)
- Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)
- Site has special designation (e.g. National Historic Register, Survey LA)

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)

² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: _____square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing _____ - Demolish(ed)³ _____ + Adding _____ = Total _____

Number of Affordable Units⁴ Existing _____ - Demolish(ed) _____ + Adding _____ = Total _____

Number of Market Rate Units Existing _____ - Demolish(ed) _____ + Adding _____ = Total _____

Mixed Use Projects, Amount of Non-Residential Floor Area: _____square feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form to BOE? (required) YES NO

Is your project required to dedicate land to the public right-of-way? YES NO

If so, what is/are your dedication requirement(s)? _____ ft.

If you have dedication requirements on multiple streets, please indicate: _____

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Authorizing Code Section _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) _____

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. _____

Ordinance No.: _____

Condition compliance review

Clarification of Q (Qualified) classification

Modification of conditions

Clarification of D (Development Limitations) classification

Revision of approved plans

Amendment to T (Tentative) classification

Renewal of entitlement

Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

a. Specialized Requirement Form _____

b. Geographic Project Planning Referral _____

c. Citywide Design Guidelines Compliance Review Form _____

d. Affordable Housing Referral Form _____

e. Mello Form _____

f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form _____

g. HPOZ Authorization Form _____

h. Management Team Authorization _____

i. Expedite Fee Agreement _____

j. Department of Transportation (DOT) Referral Form _____

k. Preliminary Zoning Assessment Referral Form _____

l. SB330 Preliminary Application _____

m. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) _____

n. Order to Comply _____

o. Building Permits and Certificates of Occupancy _____

p. Hillside Referral Form (BOE) _____

q. Low Impact Development (LID) Referral Form (Storm water Mitigation) _____

r. SB330 Determination Letter from Housing and Community Investment Department _____

s. Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant

Name (if different from applicant) _____

Address _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Agent/Representative name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip: _____

Telephone _____ E-mail: _____

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____

Name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Primary Contact for Project Information Owner Applicant
(select only one) Agent/Representative Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

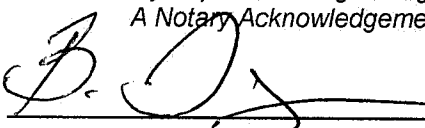
PROPERTY OWNER

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service of process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized to file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature 

Date 4-16-20

Print Name Bryan Domyan

Signature _____

Date _____

Print Name _____

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 4-16-20 before me, BRYAN CORRADO, NOTARY PUBLIC
(Insert Name of Notary Public and Title)

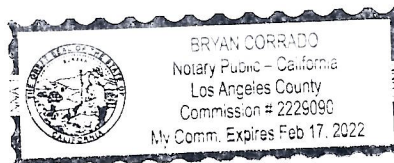
personally appeared BRYAN Domyan, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Signature

(Seal)



APPLICANT

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: _____

Date: _____

Print Name: _____

ATTACHMENT “A”
FINDINGS & SUPPLEMENTAL INFORMATION
1130 S. Hope Street, Los Angeles, California 90015

➤ **SITE INFORMATION:**

- Street Address: 1130 S. Hope Street, Los Angeles, California 90015
- Lot area: Approximately 7,829 square feet / 0.18 acre (per survey)
- Assessor’s Parcel Number: 5139-021-004

➤ **ACTION(s) Requested:**

- A **Transfer of Development Rights (TDR)**, pursuant to LAMC 14.5.7, to permit a Transfer of Floor Area of 14,336 square feet to the subject property, including the public benefits to be provided
- A **Zoning Administrator’s Adjustment (ZAA)**, pursuant to LAMC 12.28, to permit a reduction in the required southerly side yard to zero feet, in lieu of the otherwise required 14 feet for an 11-story building in the R5 zone
- **Site Plan Review (SPR)**, pursuant to LAMC 16.05, to permit the new construction of a 144-guest room hotel with 378 square feet of ground-floor retail uses

➤ **PROPERTY / ZONING INFORMATION:**

SUBJECT PROPERTY

The Property is a rectangular-shaped site comprised of one legal parcel, measuring approximately 7,829 square feet of surface land area, or 0.18 acre, according to a boundary survey recently conducted at the Property. The site is currently undeveloped. The Property fronts approximately 50 feet along the easterly side of Hope Street.

ZONING INFORMATION

The Property is zoned [Q]R5-4D-O and designated for High Density Residential land uses by the Central City Community Plan. The Q condition restricts the use of the Property to residential uses permitted in the R5 zone, hotels, motels, and other commercial uses, and limits the commercial FAR of the Property to 2:1. The D limitation restricts the overall FAR of the Property to 6:1. Residential uses are permitted in the R5 zone, with no density restrictions for guest rooms.

SURROUNDING LAND USES

The Property is bounded by Hope Street to the west, adjoining public alleys to the north and east, and a surface parking lot to the south.

➤ RELATED CASES

- ZA-2012-3185-VCU-ZV-ZAA-TDR – On November 12, 2013, the Zoning Administrator approved the adaptive reuse of a vacant 76-room 3-story building into a 10-story 44-guest room hotel with restaurant, bar, conference/meeting room, and gallery space, for a project located at the subject property, 1130 S. Hope Street.
- ZA-2013-4157-ZV-TDR-SPR – On July 11, 2014, the Zoning Administrator approved a 28-story mixed-use project consisting of 208 residential units, 3 commercial condos, and approximately 5,000 square feet of commercial retail space, for a project located at 1133 S. Hope Street.
- CPC-2013-4125-TDR-MCUP-ZV-SPR – On October 30, 2014, the City Planning Commission approved a project consisting of two mixed-use high-rise towers consisting of 730 condominium dwelling units and approximately 7,873 square feet of ground-floor commercial retail space, for a project located at 1212 S. Flower Street.
- ZA-2014-562-CU-ZV-TDR-SPR – On March 24, 2015, the Zoning Administrator approved a project consisting of a 41-story mixed-use development with 461 residential condominium units and 8,700 square feet of commercial space, and a 12-story hotel with 300 rooms and 8,610 square feet of commercial uses, for a project located at 1120 S. Grand Avenue.
- ZA-2018-2852-CU-CUB-ZV-TDR-SPR – On November 16, 2018, the Zoning Administrator approved a project consisting of a 16-story mixed-use building with 243 hotel guest rooms and 4,618 square feet of ground-floor retail and restaurant uses, for a project located at 1155 S. Olive Street.
- ZA-2016-189-CUB-CUX-TDR-DD-SPR – On July 8, 2016, the Zoning Administrator approved a project consisting of a 24-story mixed-use building with 161 residential units and 2,085 square feet of commercial space, for a project located at 1229 S. Grand Avenue.
- CPC-2012-1665-TDR-ZV-SPR – On February 4, 2014, the City Planning Commission approved a project consisting of two separate sites with two separate buildings totaling 419 apartment units and 42,000 square feet of commercial space, for a project located at 1301 S. Hope Street.
- CPC-2015-1158-SN-TDR-MCUP-CUX-SPR – On November 9, 2017, the City Planning Commission approved a mixed-use development consisting of a 300-room hotel 435 residential units, and 58,959 square feet of commercial uses, for a project located at 1020 S. Figueroa Street.

➤ **STREETS AND CIRCULATION**

- Hope Street, adjoining the Property to the west, is a designated Avenue II, dedicated to an 80-foot right-of-way in width, and improved with curb, gutter, and sidewalk. An Avenue II requires an 86-foot right-of-way; therefore, a 3-foot dedication is anticipated on the Hope Street frontage.
- The public alleys, adjoining the Property to the east and south, are dedicated to a minimum 20-foot right-of-way in width, and fully improved to alley standards. Public alleys require a 20-foot right-of-way; therefore, no further dedications are anticipated on the adjacent public alleys.

➤ **ZONING STATISTICS**

	Required/Permitted	Provided
Gross Lot Area	7,829 SF ¹	
Buildable Area	7,829 SF	
Floor Area Ratio	6:1	7.84:1 ²
Allowable Floor Area	46,974 SF	61,310 SF ²
Transfer of Floor Area Rights Requested	-	14,336 SF (1.84 FAR)
Density	Unlimited (guest rooms)	144 guest rooms
Parking	34 spaces ³	56 spaces
Front Yard Setback	0 ft ⁴	0 ft setback; 3-foot average sidewalk easement ⁵
Side Yard Setbacks	0 ft (northerly) ⁴ 14 ft (southerly)	0 ft (northerly) 0 ft (southerly) ⁶
Rear Yard Setback	0 ft ⁴	0 ft
Building Height	Unlimited	172'-0"

¹ Per survey

² Project includes a request for a Transfer of Development Rights (TDR) for an additional 1.84 of FAR

³ Based on Central City Parking requirements for hotels, and 1 parking space required for ground-floor retail use

⁴ Pursuant to LAMC 12.22.A.18 (Mixed-Use Yard Exception)

⁵ Pursuant to Downtown Design Guide

⁶ ZAA requested to permit a reduction in the required southerly side yard to zero feet, in lieu of the otherwise required 14 feet for an 11-story building in the R5 zone

➤ **PROJECT DESCRIPTION:**

The Applicant proposes to redevelop the Property with a new 11-story, 172-foot high limited-service hotel with 144 guest rooms and 378 square feet of ground-floor retail uses. The total floor area of the building is 61,310 square feet, with a Floor Area Ratio (FAR) of 7.84:1.

The building contains 144 guest rooms evenly divided across nine floors (16 guest rooms per floor). The top two floors feature larger guest rooms, each with 175 square-foot mezzanines. The ground floor features a lobby/reception area, along with other hotel amenities including a community room, conference room, business center, vending machine room, trash and recycling, common restrooms, and an elevator lobby. The ground floor also includes a 378 square-foot retail space fronting on Hope Street. There is no restaurant, bar, or other on-site food or beverage service either at the ground floor or at the rooftop level of the project. There will be no mini-bars in the guestrooms providing alcoholic beverages.

The building features a roof deck with substantial guest amenity spaces, including two lounge areas with fireplaces, an exercise area, and a spa, with additional common restrooms. The entire roof is designated for passive lounge activity. There is no rooftop bar/lounge or other food and beverage outlet. The building also contains a basement level with an additional lounge area and fitness room for exclusive use by hotel guests.

The guest rooms are also generously sized, providing ample natural light averaging 377 square feet. All rooms feature a private bathroom and wet bar as a convenience to the guests, with a mini-refrigerator, microwave, coffee maker, and other limited-service convenience food preparation amenities. All bathroom and plumbing fixtures will be water-conserving fixtures.

The building contains 56 on-site parking spaces provided on the second story of the building in an automated parking facility, accessed by the rear and side alleys via Hope Street. Arriving vehicles would pull into the vehicle elevator, and the cars are then transferred to the above parking level and parked through an automated system. The parking level has been designed as a double-height space in order to accommodate vehicle parking lifts. Departing vehicles would be processed in the same automatic manner. Such design provides efficient site circulation and convenience for hotel guests and limited hotel staffing. The Project also provides ADA parking and a loading zone on the northerly end of the site at grade. In compliance with Ordinance No. 182,416, the Project also provides a total of 32 bicycle parking spaces (of which 16 will be reserved for long-term use and 16 for short-term use).

The Project includes approximately 13,738 square feet of amenity space, including 1,792 square feet of private veranda decks, 2,906 square feet of lounge and fitness space in the basement, 2,306 square feet of common space on the ground floor, and 6,734 square feet of outdoor lounge, exercise, and spa areas on the roof deck.

In accordance with the spirit and intent of the Central City Community Plan, Downtown Design Guide, and Citywide Design Guidelines, the building provides a variety of architectural

materials and building planes, with special attention to create a pedestrian-scaled project at the street level. The architectural design of the building incorporates clean lines, warm, refined materials, and an open, inviting presence. The design alternates different textures, colors, materials, and distinctive architectural treatments to add visual interest while avoiding dull and repetitive facades. Landscaping around the building will include a mix of ground cover and trees to complement the architecture. Plant material has been selected for temperature hardiness and low water use.

The building will be sustainably designed to meet and/or exceed all City of Los Angeles current building code and Title 24 requirements. As such, the project will incorporate eco-friendly building materials, systems, and features wherever feasible, including Energy Star appliances, water saving/low flow fixtures, non-VOC paints/adhesives, drought tolerant planting, and high performance building envelopment.

The property has outstanding access to community resources, parks, entertainment and retail services, and public transportation. There are several bus routes, light-rail, and subway stations throughout Downtown LA. These transit opportunities provide connections to the greater Los Angeles area.

TRANSFER OF DEVELOPMENT RIGHTS – ADDITIONAL FINDINGS

The Director shall approve a Transfer of Development Rights (TDR), including the public benefits to be provided, and make the following findings:

1. *That the Project is proper in relation to the adjacent uses or the development of the community.*

The Project site is surrounded by a variety of commercial and residential uses, including other high-rise developments, appropriate for the dense urban landscape of Downtown Los Angeles. To the north on the opposite side of the alley, the Project abuts a 19-story mixed-use building containing 236 condominium units. Across the street on the opposite side of Hope Street, the Project faces a 28-story residential tower containing 208 residential units, three commercial condos, and approximately 5,000 square feet of commercial retail space. The Downtown area is characterized by residential, commercial, and mixed-use towers, similar in size to or larger than the proposed Project. Further, the Central City Community Plan Area is generally zoned for more intensive uses and higher density development, including unlimited height districts. Therefore, the Project as an 11-story, 172-foot tall building is proper in relation to the adjacent uses and developments of the Downtown community.

2. *That the Project will not be materially detrimental to the character of development in the immediate neighborhoods.*

The Project has been designed to be sensitive and complementary to adjacent developments, and is compatible in size and scope to nearby buildings and uses. The Project is compliant with the Downtown Design Guide, and has been designed to maintain privacy for the mixed-use tower to the north by locating its windows and balconies on the south side of the building, adjacent to a parcel that is improved with a surface parking lot and is bound by a driveway easement in perpetuity. The Project provides more parking than would otherwise be required by code, in addition to code-compliant bicycle parking. Further, the Downtown area is rich in public transportation options, and provides a multitude of pedestrian-accessible leisure, entertainment, and recreational services within convenient reach of hotel guests.

The Project also includes multiple amenities for hotel guests to enjoy onsite, including a community room, indoor and outdoor lounges, exercise and fitness facilities, and an outdoor spa. However, there is no active pool deck, rooftop lounge, bar or restaurant, and therefore the limited activity roof deck is similar in scale and projected activity to adjacent residential buildings and their outdoor amenity areas.

Therefore, the Project will not be materially detrimental to the character of development in the immediate neighborhoods.

3. That the Project will be in harmony with the various elements and objectives of the General Plan.

The Project is in harmony with the General Plan and Central City Community Plan, and is complementary to certain policies and objectives therein, as follows:

General Plan Framework Element

- **Goal 3: A Downtown Center as the primary economic, governmental, and social focal point of the region with an enhanced residential community.**
- **Framework Element Objective 3.11: Provide for the continuation and expansion of government, business, cultural, entertainment, visitor-serving, housing, industries, transportation, supporting uses, and similar functions at a scale and intensity that distinguishes and uniquely identifies the Downtown Center.**

The Project consists of the redevelopment of the Property with a new 144-guest room limited-service hotel with ground-floor retail uses. It is surrounded by complementary residential and commercial uses, and is of a compatible size and scale with the adjacent development landscape. Downtown Los Angeles is a central hub for hospitality uses to support its tourism industry and complement nearby entertainment and visitor-serving uses. Therefore, the Project is consistent with these goals and objectives for the city's Downtown Center.

Central City Community Plan

- **Objective 2-3: To promote land uses in Central City that will address the needs of all the visitors to Downtown for business, conventions, trade shows, and tourism.**
- **Policy 2-3.1: Support the development of a hotel and entertainment district surrounding the Convention Center/Staples Arena with linkages to other areas of Central City and the Figueroa corridor.**
- **Objective 2-4: To encourage a mix of uses which create an active, 24-hour downtown environment for current residents and which would also foster increased tourism.**

The Project consists of the redevelopment of the Property with a new 144-guest room hotel with ground-floor retail uses. It is surrounded by complementary residential and commercial uses, and is of a compatible size and scale with the adjacent development landscape. Downtown Los Angeles is a central hub for hospitality uses to support its tourism industry and complement nearby entertainment and visitor-serving uses. Therefore, the Project is consistent with these goals and objectives for the Central City and downtown neighborhood.

4. That the Project is consistent with any applicable adopted Redevelopment Plan.

The Project is fully consistent with the use, floor area, and TFAR provisions of the City Center Redevelopment Plan. The floor area restrictions of the Redevelopment Plan are consistent with the Property's D limitation, which restricts the Property's base FAR to 6:1 (Section 512.1), but allows for Transfer of Floor Area (Section 512.4). The Project is also consistent with the objectives of the Redevelopment Plan, including the following objectives:

- To further the development of Downtown as the major center of the Los Angeles metropolitan region, within the context of the Los Angeles General Plan as envisioned by the General Plan Framework, Concept Plan, City-wide Plan portions, the Central City Community Plan, and the Downtown Strategic Plan.
- To promote the development and rehabilitation of economic enterprises including retail, commercial, service, sports and entertainment, manufacturing, industrial and hospitality uses that are intended to provide employment and improve the Project Area's tax base.
- To guide growth and development, reinforce viable functions, and facilitate the redevelopment, revitalization or rehabilitation of deteriorated and underutilized areas.

Therefore, the Project is consistent with the City Center Redevelopment Plan.

5. That the Transfer serves the public interest by providing public benefits in accordance with Subparagraph (b)(1) of this subdivision.

The Project provides a Public Benefit Payment consistent with the required TFAR calculation. As the Project requests the transfer of less than 50,000 SF, no Transfer Plan or additional public benefits are applicable.

6. That the Project incorporates feasible mitigation measures, monitoring measures when necessary or alternatives identified in the environmental review which would substantially lessen the significant environmental effects of the Project, and any additional findings as may be required by CEQA.

The Project is not anticipated to trigger any required mitigation measures under CEQA, and a Categorical Exemption is expected to be appropriate, as further discussed in the Class 32 findings below. In the event that any potential impacts are identified, the Project will incorporate mitigation measures appropriate to address them.

ZONING ADMINISTRATOR'S ADJUSTMENT – ADDITIONAL FINDINGS

Pursuant to LAMC Section 12.28, the Applicant is seeking a Zoning Administrator's Adjustment to permit a reduction in the required southerly side yard to zero feet, in lieu of the otherwise required 14 feet for an 11-story building in the R5 zone.

In order for an adjustment from the zoning regulations to be granted, all of the legally mandated findings delineated in Section 12.28 of the Los Angeles Municipal Code must be made in the affirmative. The following is a delineation of the findings and the application of the relevant facts of the case to same:

1. *While site characteristics or existing improvements make strict adherence to the zoning regulations impractical or infeasible, the project nonetheless conforms with the intent of those regulations.*

The strict application of the zoning code would require that the Project incorporate a 14-foot southerly side yard, based on the proposed building being 11 stories in height. Whereas the street or alley-adjacent front, rear, and northerly side yards of the Project can be zero feet, pursuant to LAMC 12.22.A.18(c)(2) because it incorporates a combination of residential and commercial uses, the southerly side yard is an interior yard and does not abut a street or alley. Therefore, it is not covered under the mixed-use yard exception cited above, and thus requires a Zoning Administrator's Adjustment to be reduced down to zero feet.

A zero-foot southerly side yard is necessary in order to create the building footprint required for a practical and functionable hotel use, given the narrow 50-foot width of the Property. Without the requested adjustment, the building footprint would be limited to a maximum of 36 feet wide. Such limited width would not be feasible to construct the double-corridor building design necessary to achieve the number of guest rooms that would make the Project economically feasible, nor provide the layout necessary to construct a functionable hotel with proper guest amenities.

Nonetheless, the Project conforms with the intent of the required side yard regulation to provide adequate spacing and privacy between the subject use and the adjacent property to the south. Said property is currently improved as a surface parking lot and has a driveway easement located along the northerly portion of the site that is legally effective in perpetuity. Consequently, no development on the adjacent parcel to the south is anticipated, at least within said driveway easement, for the foreseeable future. Therefore, despite the request for a 0-foot southerly side yard, the Project nonetheless meets the intent of the regulation to provide spacing and privacy from adjacent developments.

- 2. In light of the project as a whole including any mitigation measures imposed, the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare and safety.***

The Project site is surrounded by a variety of commercial and residential uses, including other high-rise developments, appropriate for the dense urban landscape of Downtown Los Angeles. To the north on the opposite side of the alley, the Project abuts a 19-story mixed-use building containing 236 condominium units. Across the street on the opposite side of Hope Street, the Project faces a 28-story residential tower containing 208 residential units, three commercial condos, and approximately 5,000 square feet of commercial retail space. The Downtown area is characterized by residential, commercial, and mixed-use towers, similar in size to or larger than the proposed Project. Further, the Central City Community Plan Area is generally zoned for more intensive uses and higher density development, including unlimited height districts. Therefore, the Project as an 11-story, 172-foot tall building is proper in relation to the adjacent uses and developments of the Downtown community.

The Project has been designed to be sensitive and complementary to adjacent developments, and is compatible in size and scope to nearby buildings and uses. The Project is compliant with the Downtown Design Guide, and has been designed to maintain privacy for the mixed-use tower to the north by locating its windows and balconies on the south side of the building, adjacent to a parcel that is improved with a surface parking lot and is bound by a driveway easement in perpetuity. Furthermore there is no rooftop bar/lounge or restaurant area that may be incompatible with adjacent residences.

The Project provides more parking than would otherwise be required by code, in addition to code-compliant bicycle parking. Further, the Downtown area is rich in public transportation options, and provides a multitude of pedestrian-accessible leisure, entertainment, and recreational services within convenient reach of hotel guests. The Project also includes multiple amenities for hotel guests to enjoy onsite, including a community room, indoor and outdoor lounges, exercise and fitness facilities, and an outdoor spa.

Therefore, in light of the Project as a whole, the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare and safety.

- 3. The project is in substantial conformance with the purpose, intent and provisions of the General Plan, the applicable community plan, and any specific plan.***

The Project is in substantial conformance with the General Plan and Central City Community Plan, and is complementary to certain policies and objectives therein, as follows:

General Plan Framework Element

- ***Goal 3: A Downtown Center as the primary economic, governmental, and social focal point of the region with an enhanced residential community.***
- ***Framework Element Objective 3.11: Provide for the continuation and expansion of government, business, cultural, entertainment, visitor-serving, housing, industries, transportation, supporting uses, and similar functions at a scale and intensity that distinguishes and uniquely identifies the Downtown Center.***

The Project consists of the redevelopment of the Property with a new 144-guest room limited-service hotel with ground-floor retail uses. It is surrounded by complementary residential and commercial uses, and is of a compatible size and scale with the adjacent development landscape. Downtown Los Angeles is a central hub for hospitality uses to support its tourism industry and complement nearby entertainment and visitor-serving uses. Therefore, the Project is consistent with these goals and objectives for the city's Downtown Center.

Central City Community Plan

- ***Objective 2-3: To promote land uses in Central City that will address the needs of all the visitors to Downtown for business, conventions, trade shows, and tourism.***
- ***Policy 2-3.1: Support the development of a hotel and entertainment district surrounding the Convention Center/Staples Arena with linkages to other areas of Central City and the Figueroa corridor.***
- ***Objective 2-4: To encourage a mix of uses which create an active, 24-hour downtown environment for current residents and which would also foster increased tourism.***

The Project consists of the redevelopment of the Property with a new 144-guest room hotel with ground-floor retail uses. It is surrounded by complementary residential and commercial uses, and is of a compatible size and scale with the adjacent development landscape. Downtown Los Angeles is a central hub for hospitality uses to support its tourism industry and complement nearby entertainment and visitor-serving uses. Therefore, the Project is consistent with these goals and objectives for the Central City and downtown neighborhood.

Therefore, the granting of the requested ZAA would support numerous City land use policies and objectives, and is in substantial conformance with the General Plan and local Community Plan.

SITE PLAN REVIEW – ADDITIONAL FINDINGS

In granting an approval, the Director shall find:

- 1. That the project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan, and any applicable specific plan.***

The Project is in substantial conformance with the General Plan and Central City Community Plan, and is complementary to certain policies and objectives therein, as follows:

General Plan Framework Element

- ***Goal 3: A Downtown Center as the primary economic, governmental, and social focal point of the region with an enhanced residential community.***
- ***Framework Element Objective 3.11: Provide for the continuation and expansion of government, business, cultural, entertainment, visitor-serving, housing, industries, transportation, supporting uses, and similar functions at a scale and intensity that distinguishes and uniquely identifies the Downtown Center.***

The Project consists of the redevelopment of the Property with a new 144-guest room limited-service hotel with ground-floor retail uses. It is surrounded by complementary residential and commercial uses, and is of a compatible size and scale with the adjacent development landscape. Downtown Los Angeles is a central hub for hospitality uses to support its tourism industry and complement nearby entertainment and visitor-serving uses. Therefore, the Project is consistent with these goals and objectives for the city's Downtown Center.

Central City Community Plan

- ***Objective 2-3: To promote land uses in Central City that will address the needs of all the visitors to Downtown for business, conventions, trade shows, and tourism.***
- ***Policy 2-3.1: Support the development of a hotel and entertainment district surrounding the Convention Center/Staples Arena with linkages to other areas of Central City and the Figueroa corridor.***
- ***Objective 2-4: To encourage a mix of uses which create an active, 24-hour downtown environment for current residents and which would also foster increased tourism.***

The Project consists of the redevelopment of the Property with a new 144-guest room hotel with ground-floor retail uses. It is surrounded by complementary residential and commercial uses, and is of a compatible size and scale with the adjacent development landscape. Downtown Los Angeles is a central hub for hospitality uses to support its tourism industry and complement nearby entertainment and visitor-serving uses.

Therefore, the Project is consistent with these goals and objectives for the Central City and downtown neighborhood.

2. *That the project consists of an arrangement of buildings and structures (including height, bulk and setbacks), off-street parking facilities, loading areas, lighting, landscaping, trash collection, and other such pertinent improvements, that is or will be compatible with existing and future development on adjacent properties and neighboring properties.*

The Project consists of a single 11-story 172-foot tall, 144-guest room limited-service hotel with 378 square feet of ground-floor retail uses. The proposed building height is compliant with the unlimited height permitted for its [Q]R5-4D-O zoning, and is compatible with the adjacent developments to the north, west, and east of the Property. The Project requests a Transfer of Floor Area of The Project provides code-compliant loading and bicycle parking for hotel guests and retail customers, and more than the code-required vehicular parking. Additionally, the Project provides substantial landscaping at the ground floor and roof deck, despite no code requirement to do so. Despite the Project's request to deviate from the required southerly side yard setback, the Project nonetheless meets the intent of providing adequate spacing and privacy from the adjacent parcel, which is improved as a surface parking lot and is bound by a driveway easement in perpetuity.

The building will be sustainably designed to meet and/or exceed all City of Los Angeles current building code and Title 24 requirements. As such, the Project will incorporate eco-friendly building materials, systems, and features wherever feasible, including Energy Star appliances, water saving/low flow fixtures, non-VOC paints/adhesives, drought tolerant planting, and high-performance building envelopment.

Therefore, the Project provides a significant upgrade to the existing vacant site conditions, and sets a high standard for future development along this stretch of Hope Street in the South Park neighborhood.

3. *That any residential project provides recreational and service amenities to improve habitability for its residents and minimize impacts on neighboring properties.*

Although the Project is a hotel and not a residential use, the Project provides a number of on-site recreational spaces and amenities for guests to enjoy. The Project includes approximately 13,738 square feet of amenity space, including 1,792 square feet of private veranda decks, 2,906 square feet of lounge and fitness space in the basement, 2,306 square feet of common space on the ground floor, and 6,734 square feet of outdoor lounge, exercise, and spa areas on the roof deck. Additionally, as demonstrated on the Project's landscape plan, the Project provides substantial greenery and on-site trees to provide shading and privacy, and to improve habitability for hotel guests.

CEQA CATEGORICAL EXEMPTION
CLASS 32 – INFILL DEVELOPMENT – FINDINGS

The Class 32 exemption (Section 15332 of the State CEQA Guidelines) is intended to promote infill development within urbanized areas. Class 32 consists of projects characterized as in-fill development meeting the following conditions:

a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations:

The Property is zoned [Q]R5-4D-O and designated for High Density Residential land uses by the Central City Community Plan. The Q condition restricts the use of the Property to residential uses permitted in the R5 zone, hotels, motels, and other commercial uses, and limits the commercial FAR of the Property to 2:1. The D limitation restricts the overall FAR of the Property to 6:1. Residential uses are permitted in the R5 zone, with no density restrictions for guest rooms. The proposed Project is consistent with all applicable land use designation and policies and zoning designation and regulations of the General Plan, Community Plan, and the LAMC.

b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses:

The Property consists of one legal parcel, totaling 7,829 gross square feet or 0.17 acre, located wholly within the City of Los Angeles. It is surrounded entirely by urban uses, including a mix of commercial and residential uses.

(c) The project site has no value as habitat for endangered, rare or threatened species:

The Project is situated in an established, fully-developed mixed-use neighborhood within the city's urban core, proximate to multiple large boulevards and nearby employment centers. The Project site has no value as a habitat for endangered, rare or threatened species.

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality:

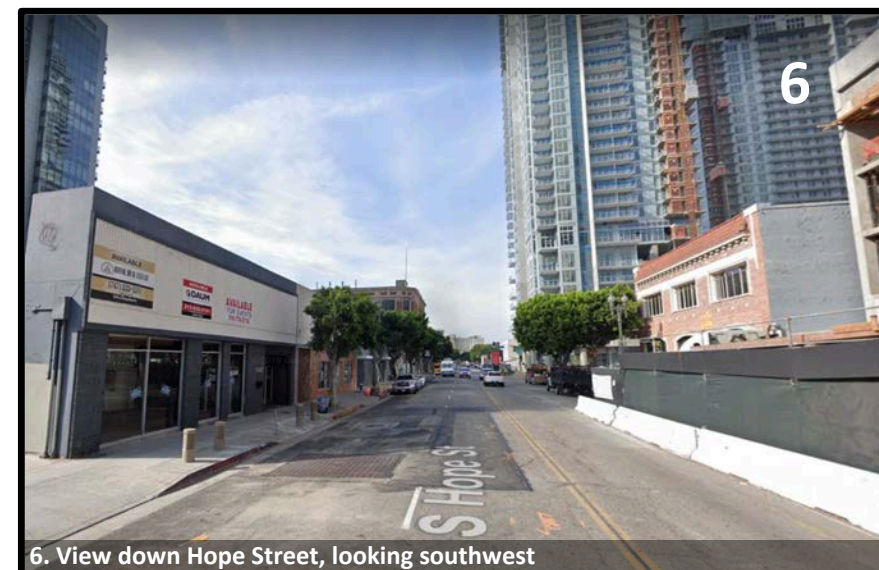
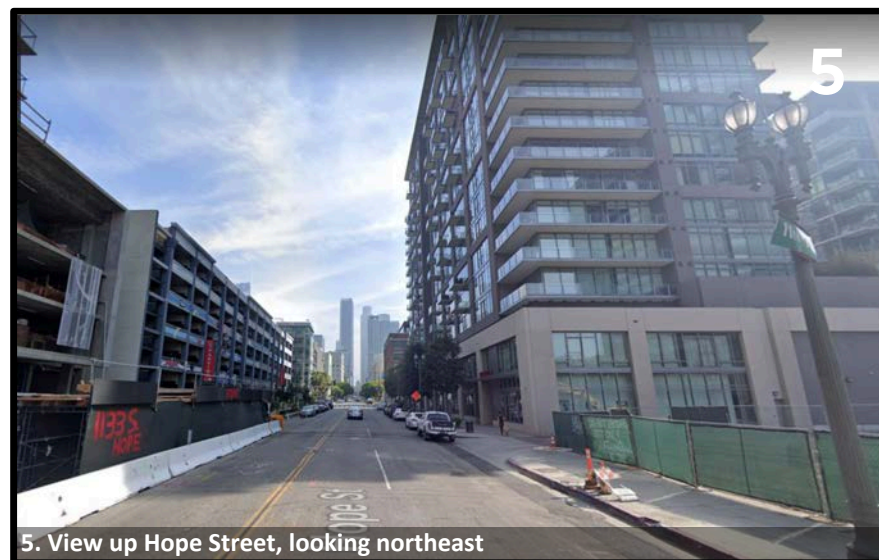
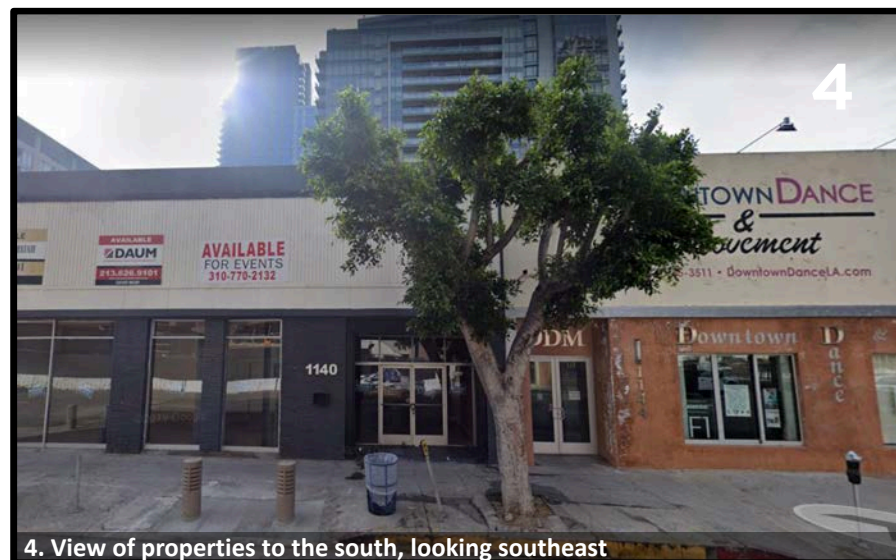
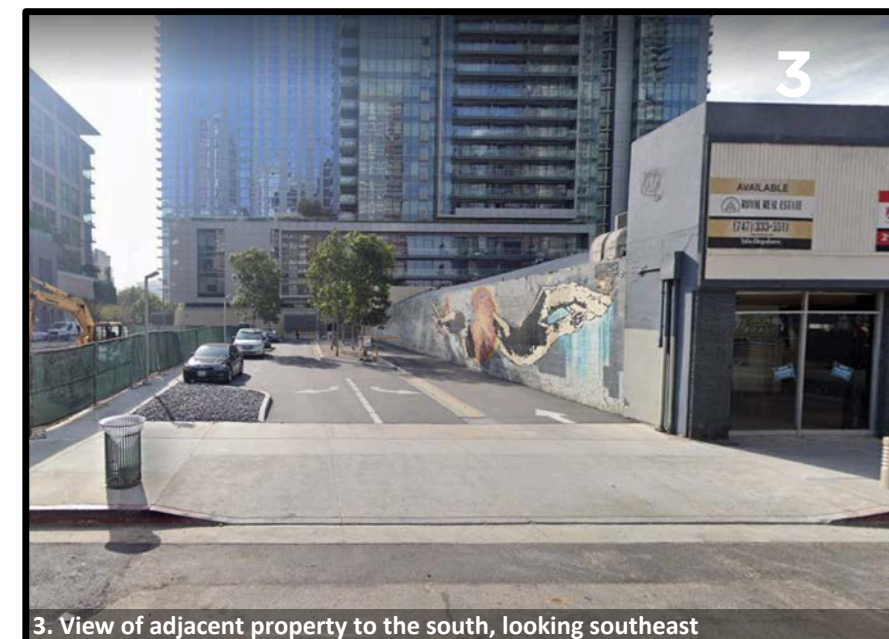
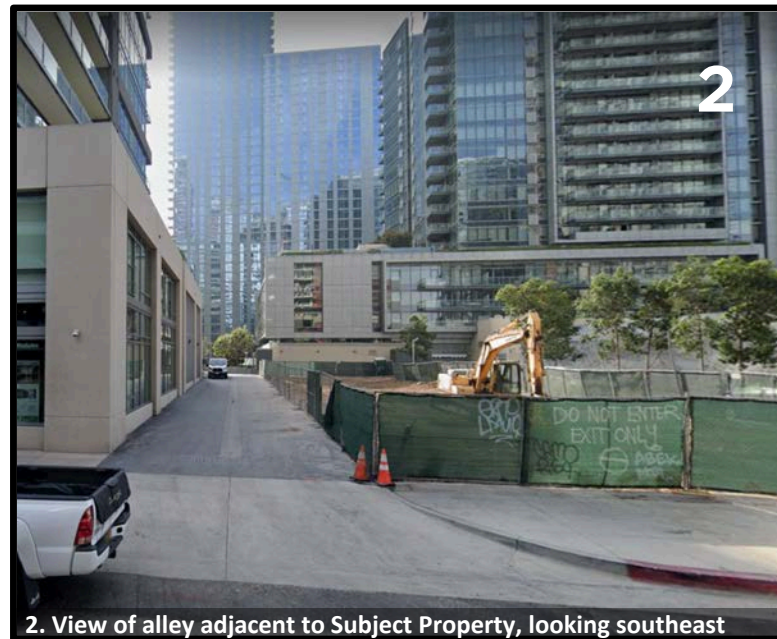
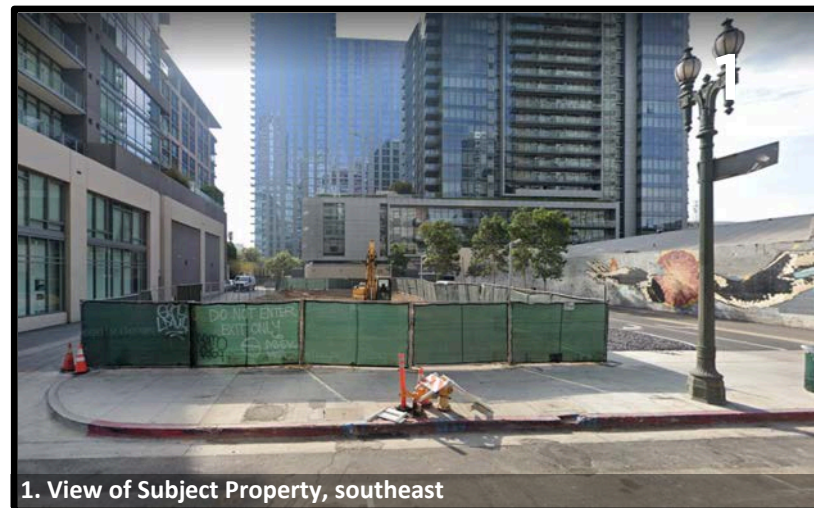
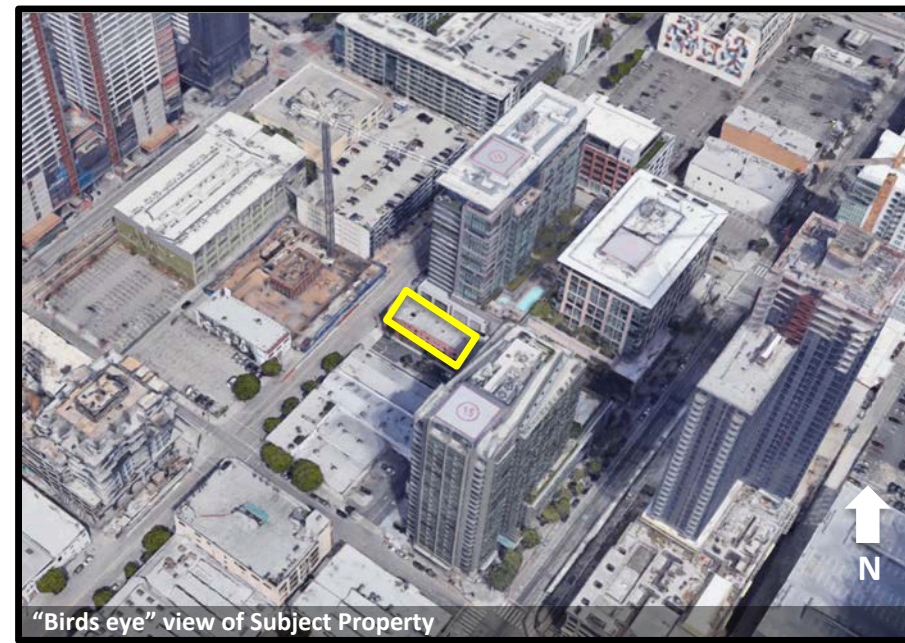
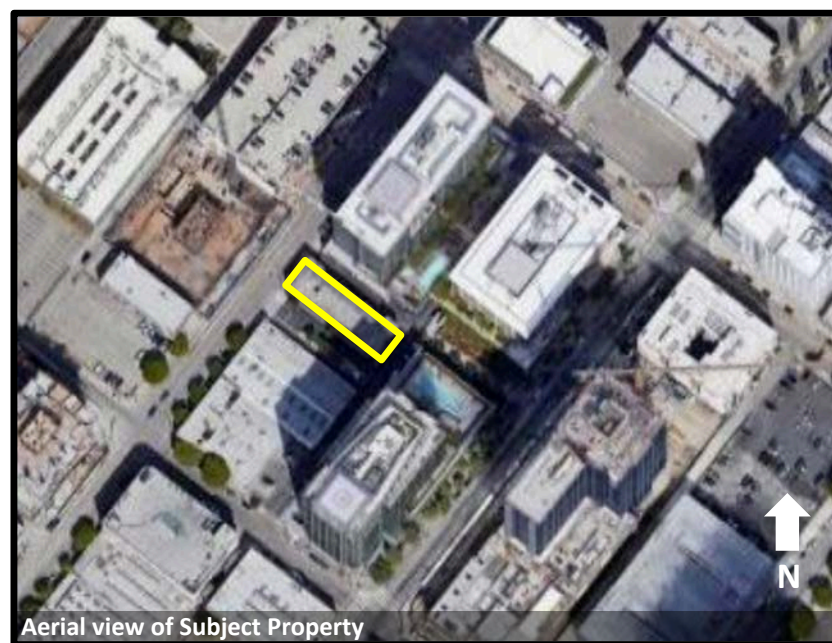
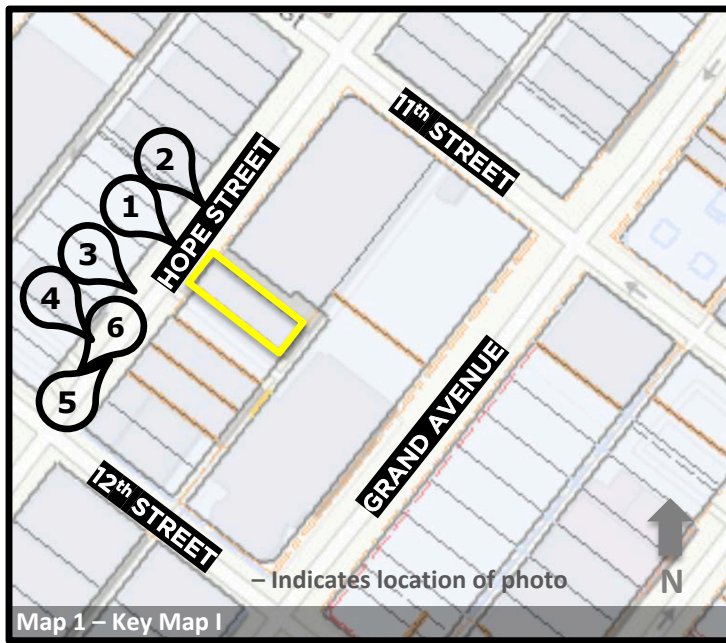
The Project is required to comply with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, storm water mitigations; and Best Management Practices for storm water runoff.

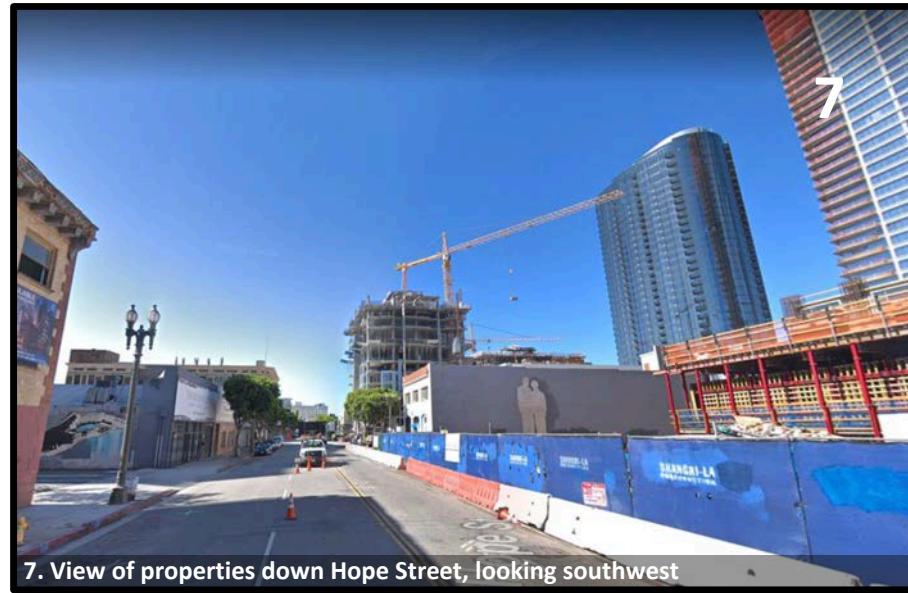
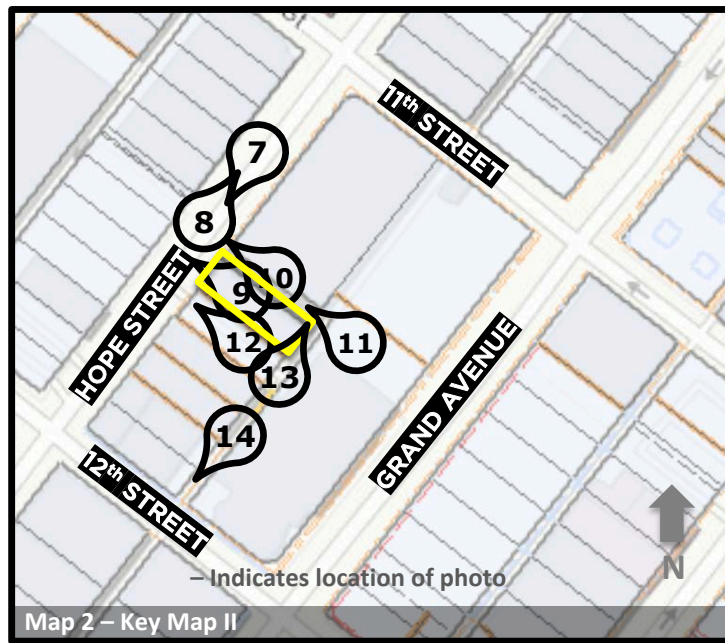
The Project will be assessed by LADOT to determine whether a traffic study will be required.

Upon completion of the traffic study, the Applicant will have a comprehensive air quality analysis performed, if deemed to be necessary.

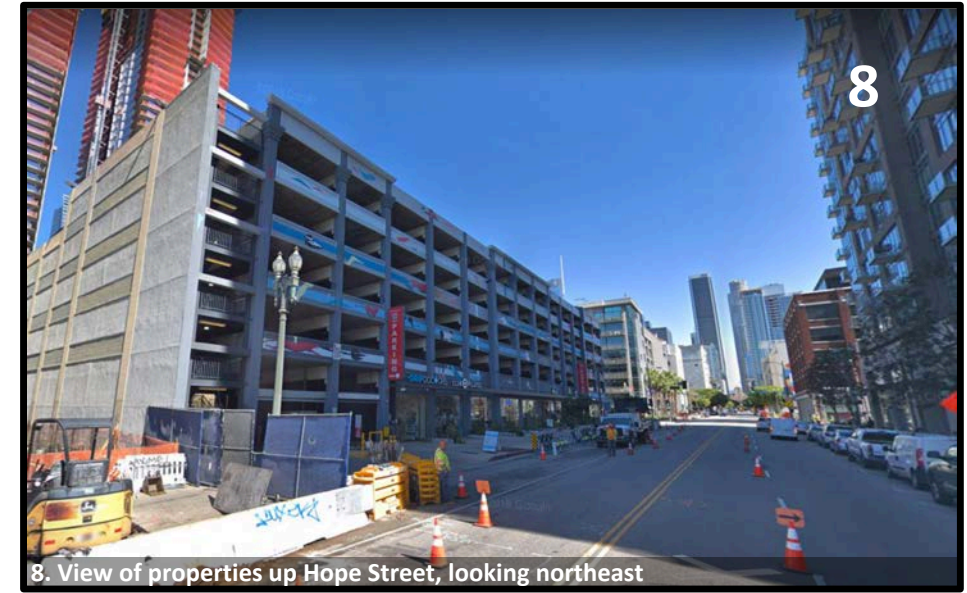
(e) The site can be adequately served by all required utilities and public services:

The site is currently being served adequately by the City's Department of Water and Power, the City's Bureau of Sanitation, the SoCal Gas Company, the Los Angeles Police Department, the Los Angeles Fire Department, and many others public services. The utilities and public services have been servicing the neighborhood continuously for over 50 years. In addition, the California Green Code requires new construction to meet stringent efficiency standards for both water and power, such as high-efficiency toilets, dual-flush water closets, minimum irrigation standards, LED lighting, etc. The Project can be characterized as in-fill development within urban areas for the purpose of qualifying for Class 32 Categorical Exemption as a result of meeting the five conditions listed above.

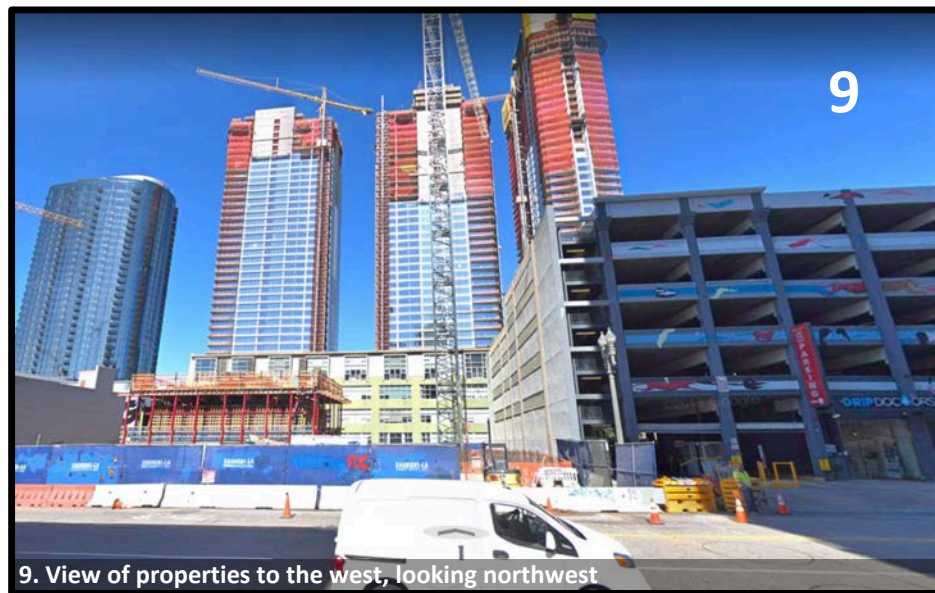




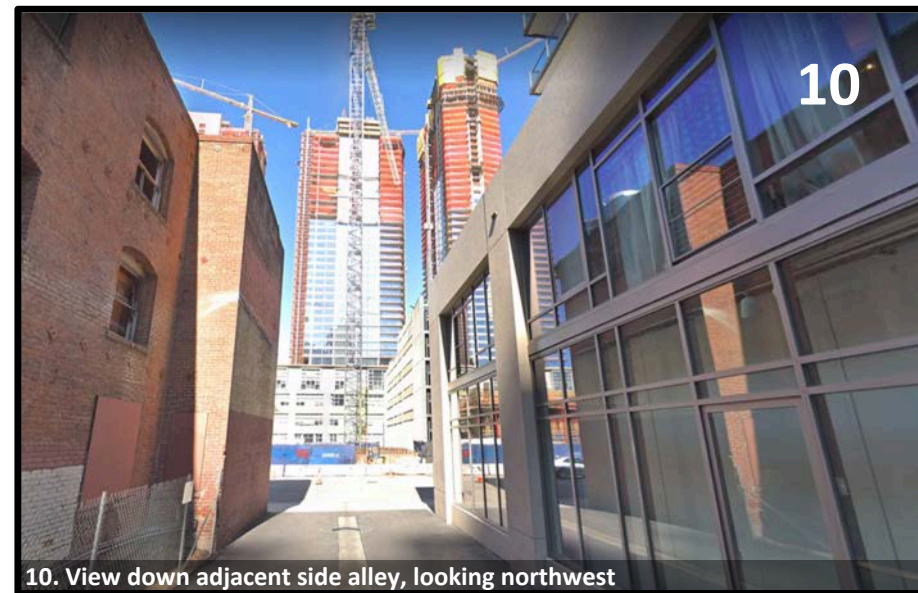
7. View of properties down Hope Street, looking southwest



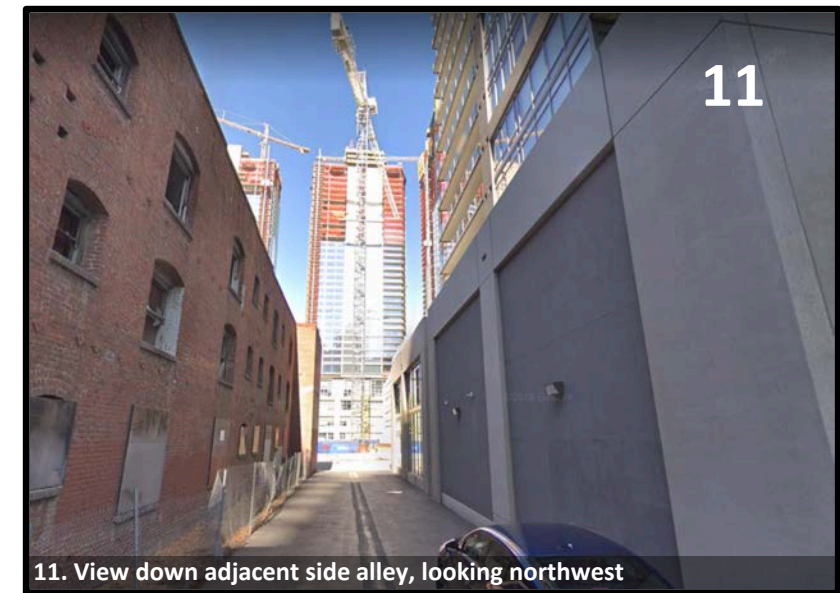
8. View of properties up Hope Street, looking northeast



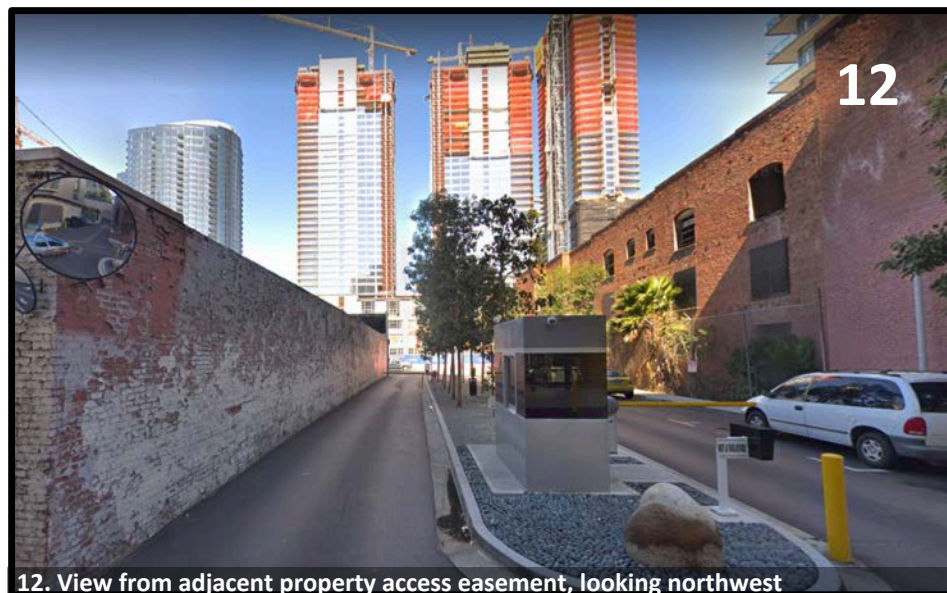
9. View of properties to the west, looking northwest



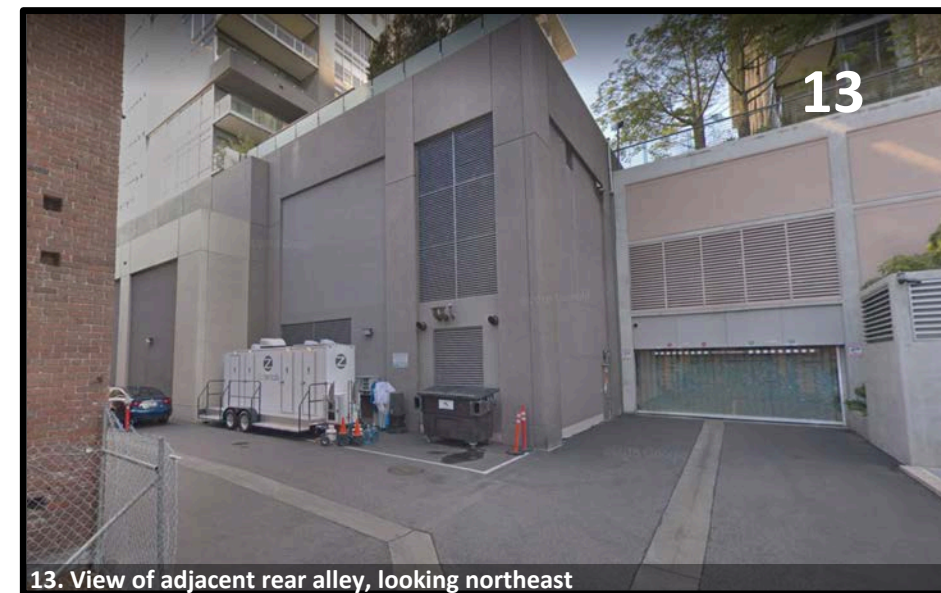
10. View down adjacent side alley, looking northwest



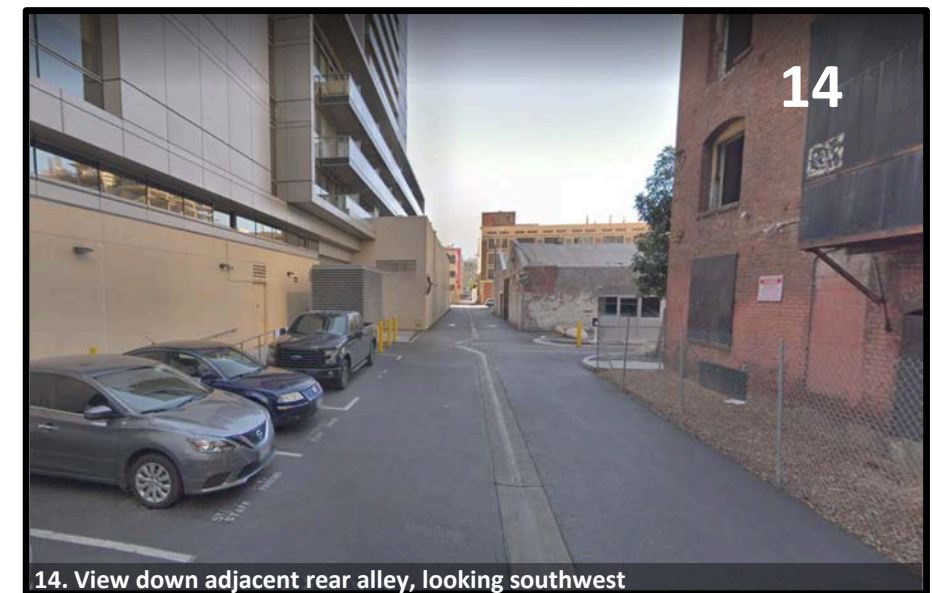
11. View down adjacent side alley, looking northwest



12. View from adjacent property access easement, looking northwest



13. View of adjacent rear alley, looking northeast



14. View down adjacent rear alley, looking southwest



HOTEL

1130 S. HOPE STREET

OWNER
HOPE STREET 1, LLC

ARCHITECT
BGA **Bucilla Group Architecture**
ARCHITECTURE | PLANNING | URBAN DESIGN | INTERIOR DESIGN

INDEX:

- CS COVER / INDEX SHEET
- CS-1.0 PROGRAM SUMMARY
- CS-2.0 IMAGERY - BUILDING
- SP-1.0 ALTA SURVEY
- SP-1.1 PLOT PLAN

COMPOSITE BUILDING PLAN

- 1.0 L0 - BASEMENT PLAN
- 2.0 L1 - GROUND FLOOR PLAN
- 2.0A- (DOT) L1 - VEH. TURNING DIAGRAM
- 3.0 L2 - PARKING LEVEL
- 4.0 L3 TO L9 - TYP. FLAT LEVEL
- 5.0 L10 TO L11 TYP. LOWER LEVEL
- 5.1 L10 TO L11 TYP. MEZZANINE LEVEL
- 6.0 L12 - ROOF DECK LEVEL
- 6.1 L12 - ROOF PLAN

COMPOSITE BUILDING SECTION

- 7.0 BUILDING SECTION 'A-A'
- BUILDING SECTION 'B-B'

COMPOSITE BUILDING ELEVATION

- 8.1 FRONT ELEVATION
- LEFT SIDE ELEVATION
- 8.2 RIGHT SIDE ELEVATION
- REAR ELEVATION

UNIT PLAN TYPE

- 9.1 TYPE A PLAN
- TYPE A1 PLAN
- TYPE B PLAN
- TYPE B1 PLAN
- 9.2 TYPE C PLAN
- TYPE C1 PLAN
- TYPE D PLAN
- TYPE D1 PLAN

SHADE AND SHADOW ANALYSIS

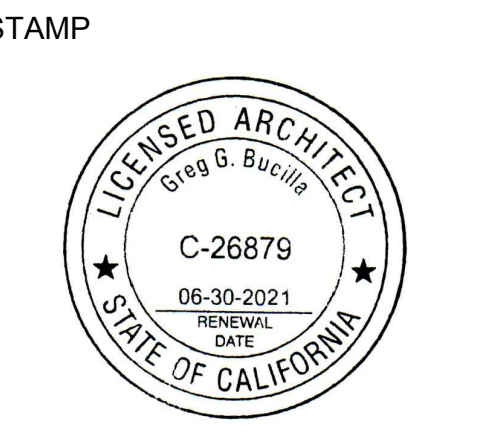
- 10.1~10.9 SUMMER SOLSTICE (9AM TO 5PM)
- 11.1~11.9 WINTER SOLSTICE (9AM TO 5PM)

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

19782 Mac Arthur Blvd., Suite 270, Irvine, Ca 92612
TEL 949.851.9080 www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, not are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

PERMIT NO:
DD SUBM. DATE: 04/15/20
BD SUBM. DATE:
PLOT DATE: 04/15/20

Project Number :
BGA No. 19036

Sheet Title :
PROJECT OVERVIEW

Sheet No. :
CS



**BUILDING
IMAGERY**

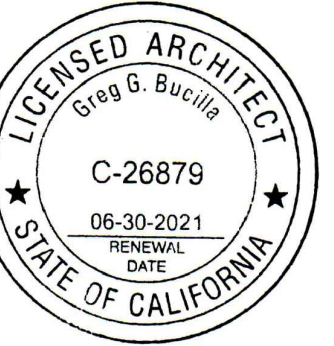
ARCHITECT:

**BUCILLA
GROUP
ARCHITECTURE**

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
19782 Mac Arthur Blvd., Suite 270, Irvine, Ca 92612
TEL 949.851.9080 www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby
expressly reserves its common law copyright and other
property rights in these plans. These plans are not to be
copied, reproduced or changed in any form or manner
whatsoever, nor are they to be assigned to any third party
without first obtaining the express written permission and
consent of BUCILLA GROUP ARCHITECTURE, INC.

STAMP



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

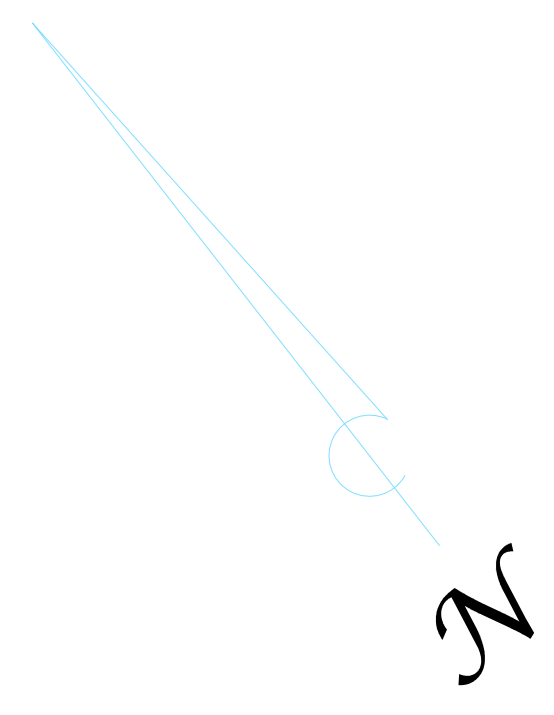
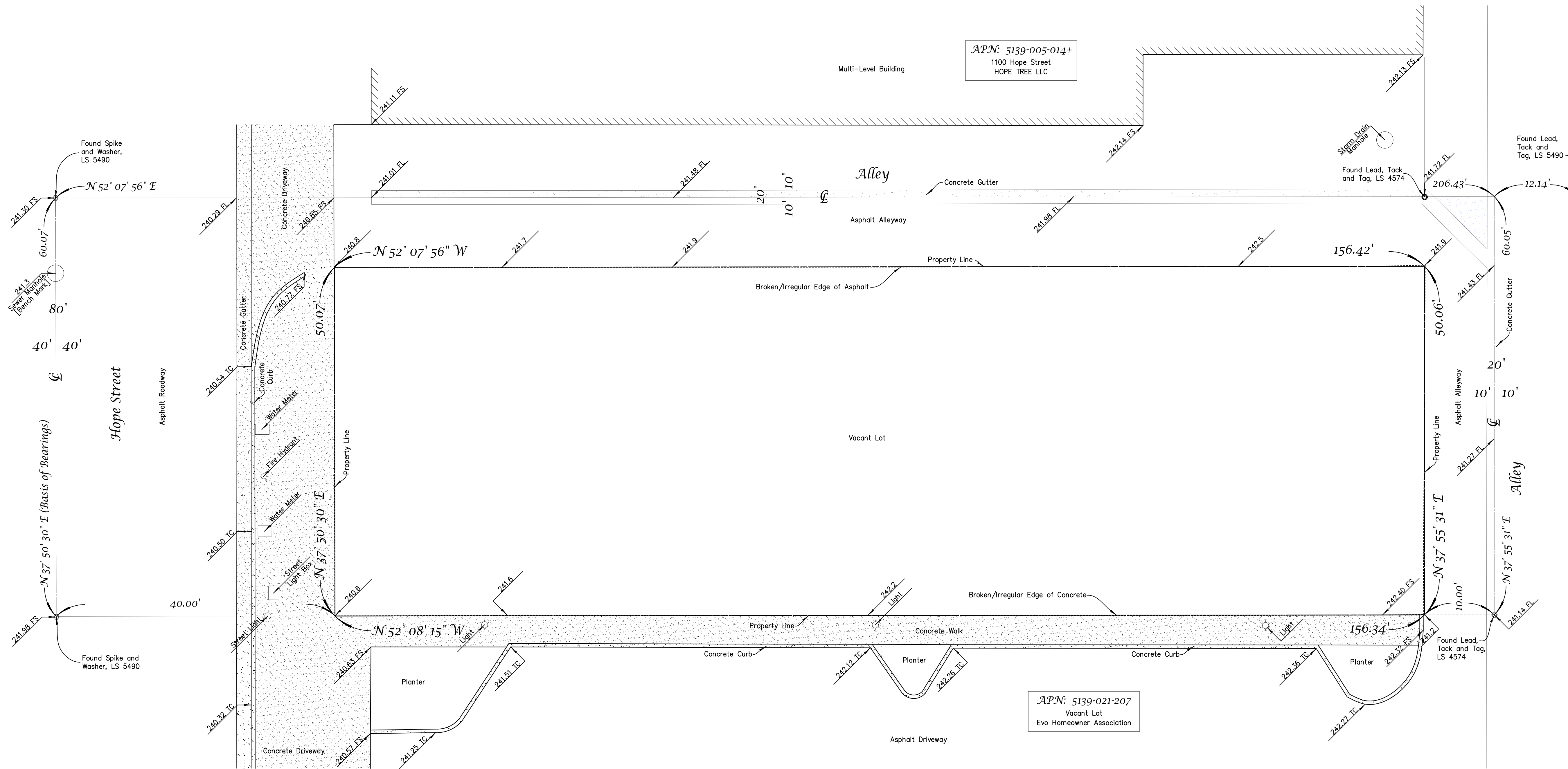
PERMIT NO.:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

Project Number :
BGA No. 19036

Sheet Title :
**BUILDING
IMAGERY**

Sheet No. :
CS-2.0

A.L.T.A./NSPS Land Title/Architectural Survey



Scale: 1" = 8'

Legend

FS = Finished Surface
 FL = Flowline
 TC = Top of Curb

LEGAL DESCRIPTION: ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 LOT 6 IN BLOCK 79 OF ORD'S SURVEY, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31, PAGE 90 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 5139-021-004

TITLE REPORT: THE TITLE REPORT DATED OCTOBER 2, 2019 BY CHICAGO TITLE COMPANY, ORDER NO. 00112488-994-LT2-JC, WAS USED AND IS A PART OF THIS SURVEY.
 SITE ADDRESS: 1130 SOUTH HOPE STREET, LOS ANGELES
 AREA: 7,829 SQUARE FEET, 0.18 ACRES

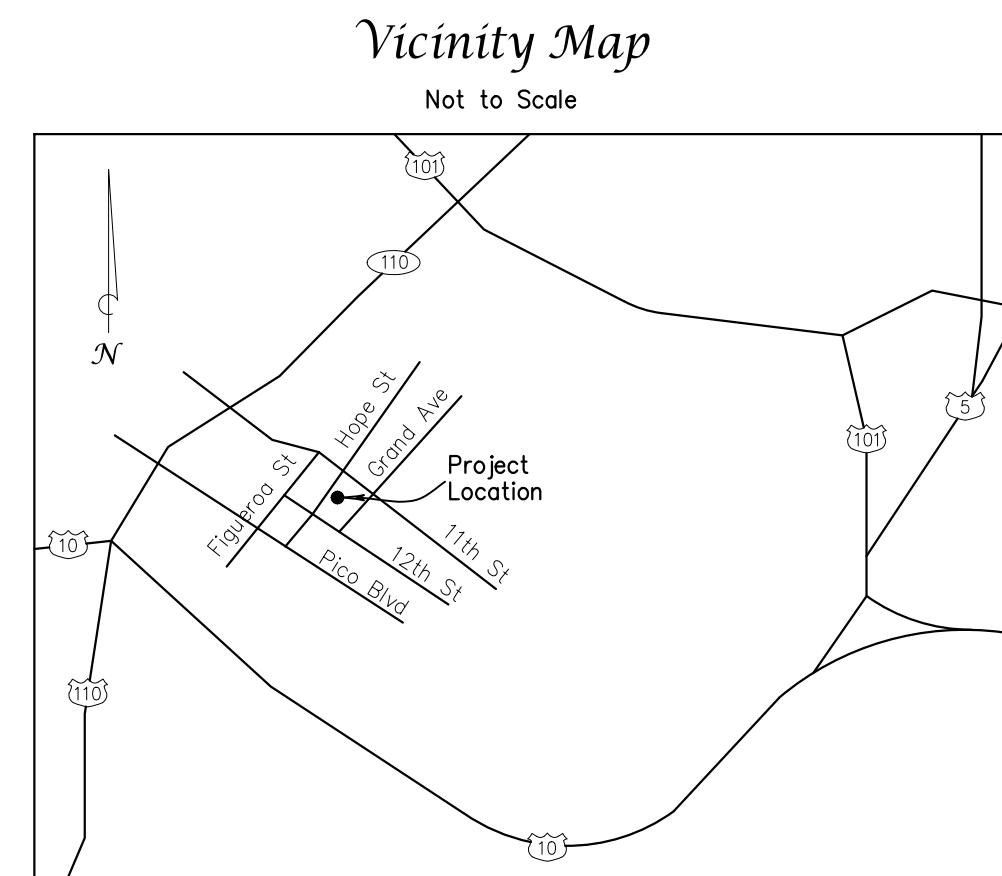
BOUNDARY: THE PROPERTY LINES SHOWN HEREON ARE RECORD PER THE LEGAL DESCRIPTION AND RELATED DOCUMENTS, UNLESS OTHERWISE NOTED. THE PROPERTY LINES ARE ADJUSTED TO BEST FIT PER FOUND CITY CENTERLINE AND/OR SURVEY MONUMENTS, AND OCCUPATION.

BASIS OF BEARINGS: THE BEARING OF NORTH 37° 50' 30" EAST WAS USED ON THE CENTERLINE OF SOUTH HOME STREET PER ORD'S SURVEY BOOK 31 PAGE 90, AS SHOWN HEREON.

FLOOD ZONE: ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP DATED SEPTEMBER 26, 2008, COMMUNITY PANEL NO. 06037C-1620-F; THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

EASEMENTS: NONE.

SURVEYOR'S CERTIFICATE: TO EIP001 HOPE, LLC AND COMMONWEALTH TITLE COMPANY:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 3, 4, 8, 11(a), 13, 20(a) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 29, 2016. THE MAP WAS COMPLETED ON NOVEMBER 12, 2019.

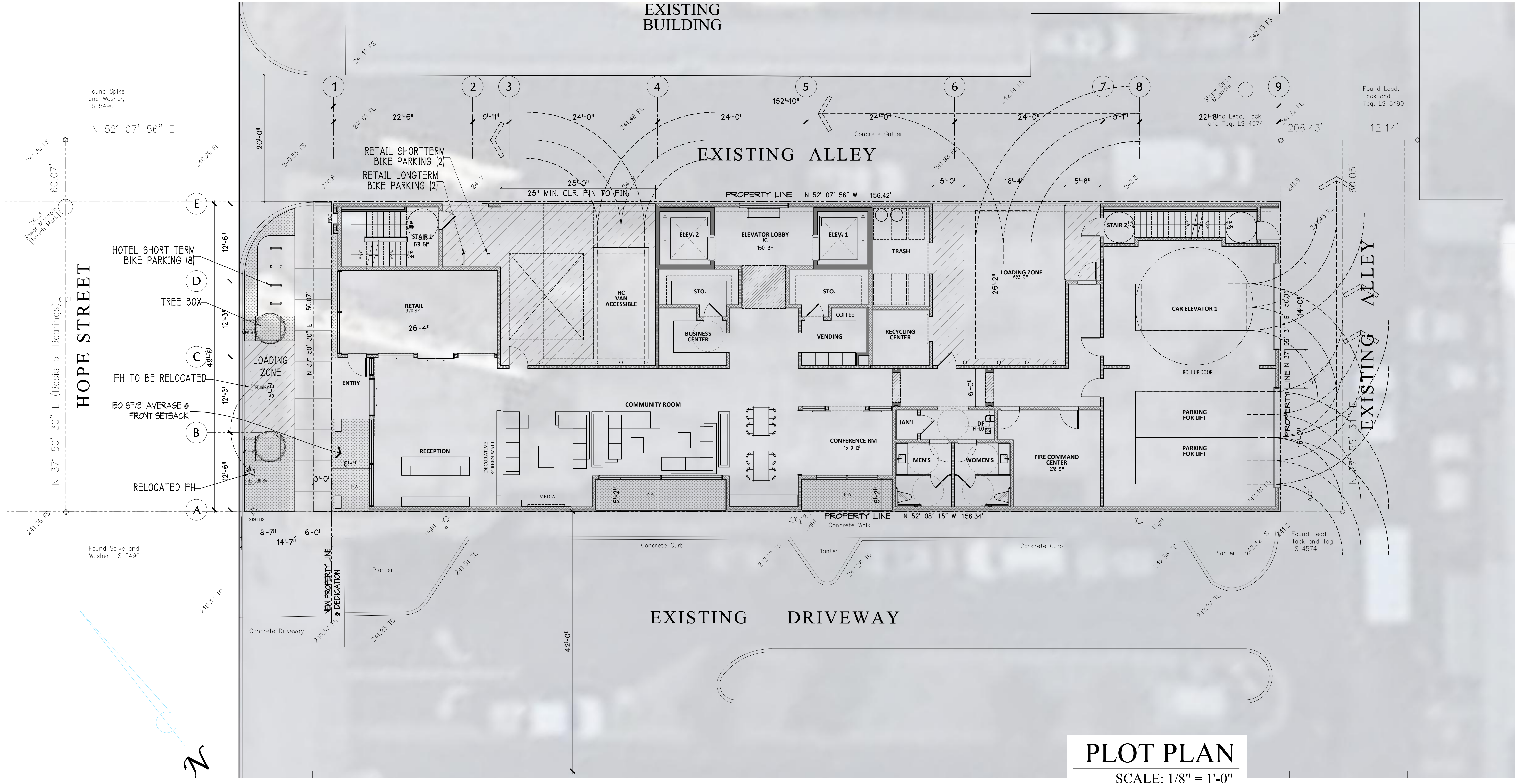


Plan Prepared For: EIP001 Hope, LLC
 1434 E. Oak Avenue
 El Segundo, CA 90245

Plan Prepared By: M & M & Co.
 26074 Avenue Hall, Suite 12
 Santa Clarita, CA 91355
 (818) 891-9100
 Gregory M. Amoroso, L.S. 8771

ALTA SURVEY

SP-1.0



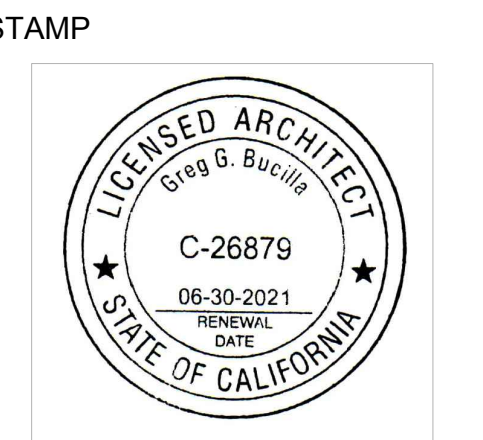
PLOT PLAN
SCALE: 1/8" = 1'-0"

PLOT PLAN SUMMARY

Project Address 1130 South Hope Street Los Angeles, CA 90015	Zoning (Q)RS-4D-O High Density Residential Yes Yes Yes City Center 1 2488 - City Center 2 2374 - LA St. Enterprise Zone 3 2487 - City Ctr / CI Dev GL's & Controls for Res Hotels 4 2385 - Grt DT Housing Inc. Area 5 2353 - Res Hotel Unit C/D Ord 6 2452 - Transit Priority in LA	Site per October 2019 survey SF 7,829 Density Allowed Downtown Parking Provided R5 unlimited 144 Floor Area CP-7150 (6/12/19) Allowed Proposed TFAR 6.0 7.84 1.84 46,974 61,310 14,336 Building Height CP-7150 (6/12/19) Allowed Proposed unlimited 172'-0" Setbacks South Park District Dedication Required Provided Provided Front PL Front walk easement per DDG Front with Retail Sides & Rear min avg / min-max avg 3' 3' avg 0' 0'	Auto Parking Retail - Required 378 sf at ground level P/ZC 2002-011 2.0 / 1,000 = 1 1 Hotel - Required Central City District Park Except 144 rooms 1st 20 rooms = 20 / 2 2nd 20 rooms = 20 / 4 104 rooms = 41 - 144 rooms = 104 / 6 10 5 18 33 Hotel - Provided Location HC - Van HC - auto Retail - auto Hotel - autos Hotel - bikes (10 / space) Total Level 1 - ground level Level 2 - automated park Level 2 - automated park Level 2 - automated park Level 2 - automated park 57 HC & EVA - Provided Location HC - Handicap Spaces EVA Spaces EVA Charging station req 2% = 1.1 or 2 (at L1 & L2) 30% = 17.7 or 18 (at L2) 5% = 2.9 or 3 (at L2) 2 17 3	Bike Parking LAMC Table 12.21 A.16 (a)(2) Retail - Required Location Short Term - 2 bikes Long Term - 2 bikes 1 rack / 2 bikes at north alley 1 rack / 2 bikes at north alley 2 2 Hotel - Required Location Short Term - 1/10 = 14 Long Term - 1/10 = 14 8 curbside / 6 - L2 automated park 14 - L2 automated park 14 14 Loading Zone LAMC - Bldg sf > 50,000 sf Required Provided 600 623 Hotel Amenities SF Private Guest Guest Guest Total Veranda decks basement level ground level roof level 1,792 2,906 2,306 6,734 13,738 Hotel Landscape No. ground level roof level Total at front and south side at rooftop 350 2,000 2,350
---	--	---	--	---

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
19782 Mac Arthur Blvd., Suite 270, Irvine, CA 92612
TEL 949.851.9080 www.bg-architecture.com



Project:
HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

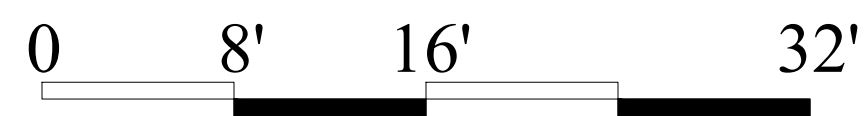
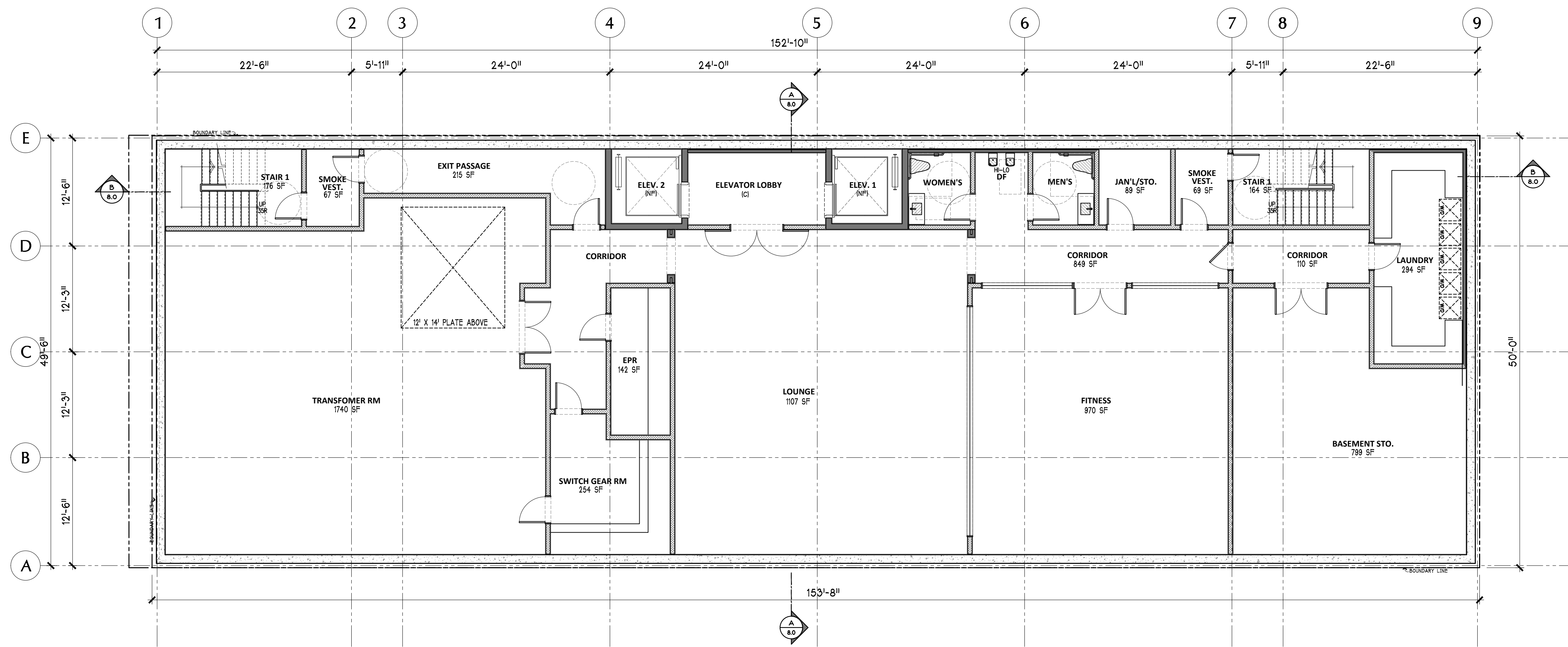
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

PERMIT NO:
DD SUBM. DATE: 04/15/20
BD SUBM. DATE:
PLOT DATE: 04/15/20

Project Number:
BGA No. 19036

Sheet Title:
PLOT PLAN

Sheet No.:
SP-1.1



B1 - BASEMENT FLOOR PLAN

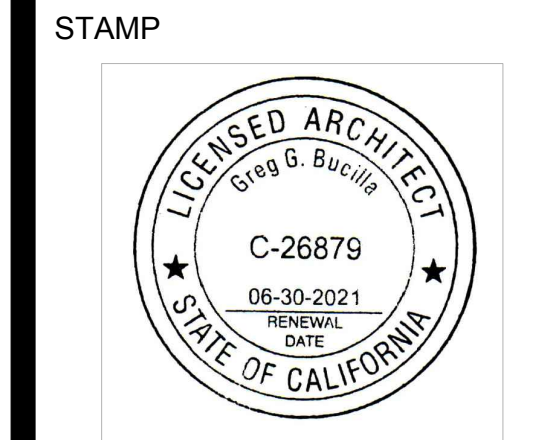
SCALE: 1/8" = 1'-0"

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VALUE ENGINEERING

19782 Mac Arthur Blvd., Suite 270, Irvine, CA 92612
 TEL. 949.851.9080 www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, not are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



Project :
HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

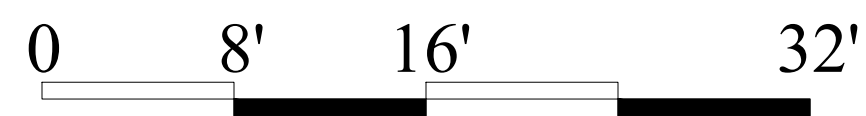
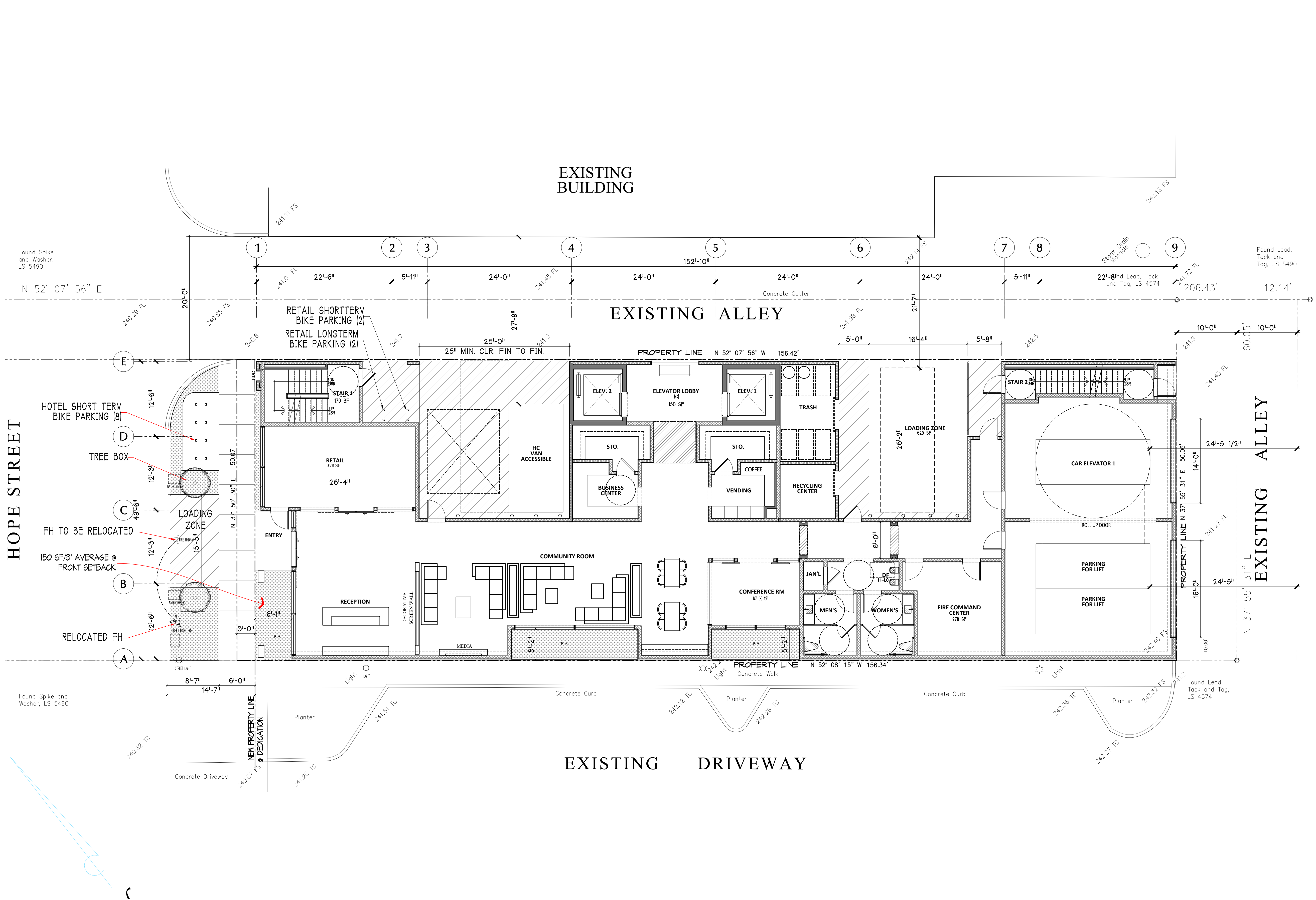
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

PERMIT NO:
 DD SUBM. DATE: 04/15/20
 BD SUBM. DATE:
 PLOT DATE: 04/15/20

Project Number :
BGA No. 19036

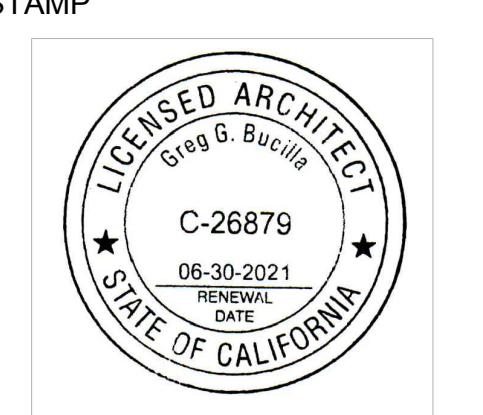
Sheet Title :
B1 - BASEMENT FLOOR PLAN

Sheet No. :
1.0



L1-GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

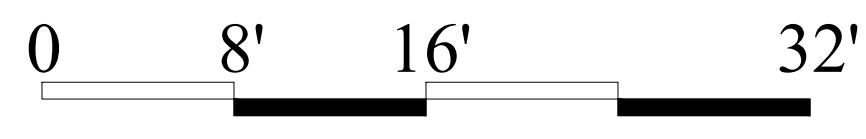
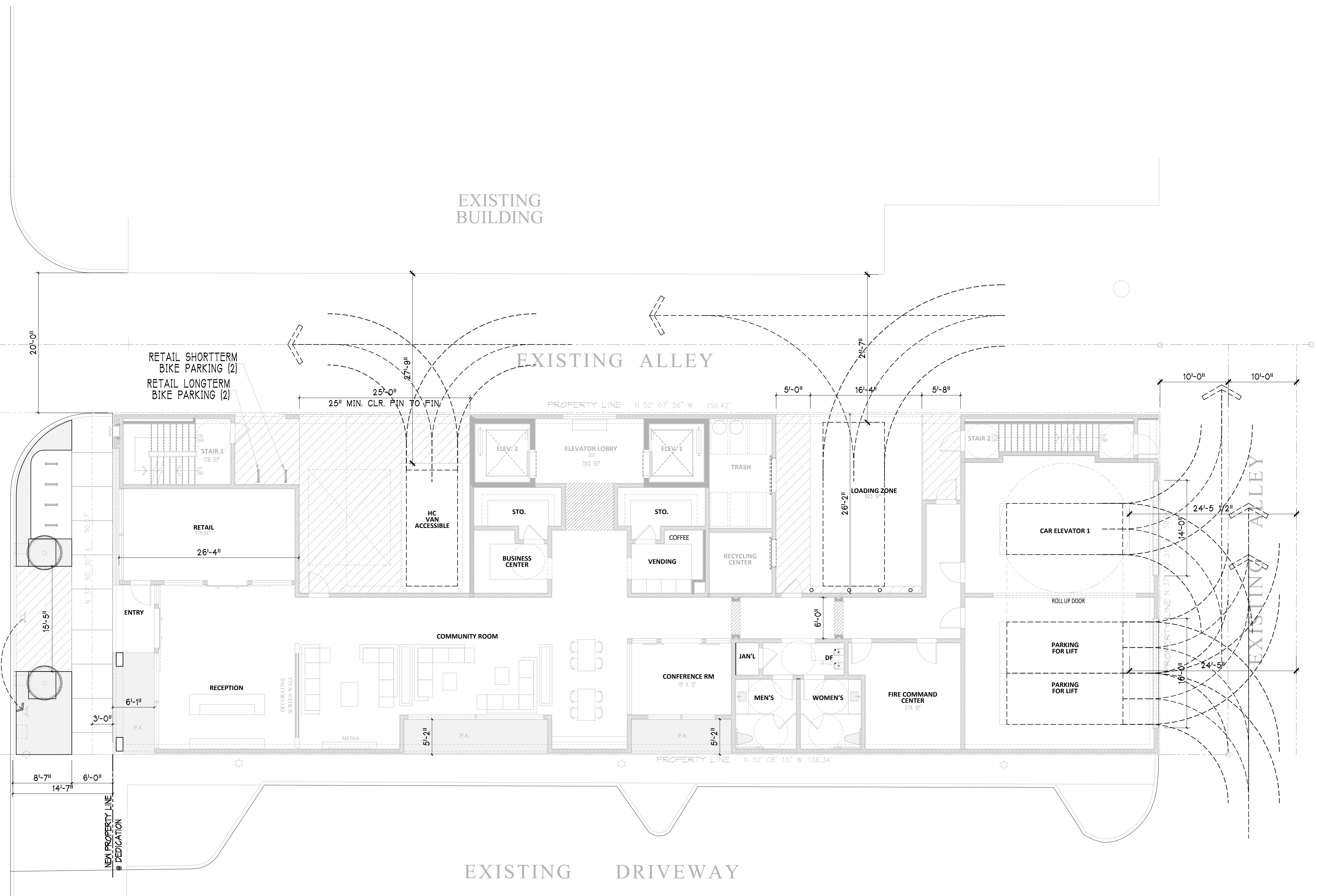
NO.	DATE	DESCRIPTION
041520	SPR	Submittal
060420	SPR	Resubmittal

PERMIT NO:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

Project Number :
BGA No. 19036

Sheet Title :
L1 - GROUND FLOOR PLAN

Sheet No. :



L1-GROUND FLOOR PLAN

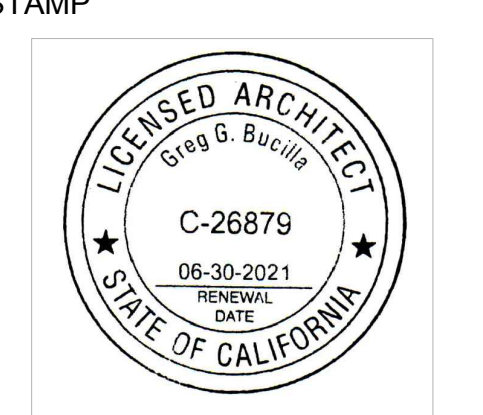
SCALE: 1/8" = 1'-0"

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VALUE ENGINEERING

19782 Mac Arthur Blvd., Suite 270, Irvine, CA 92612
 TEL 949.851.9080 www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

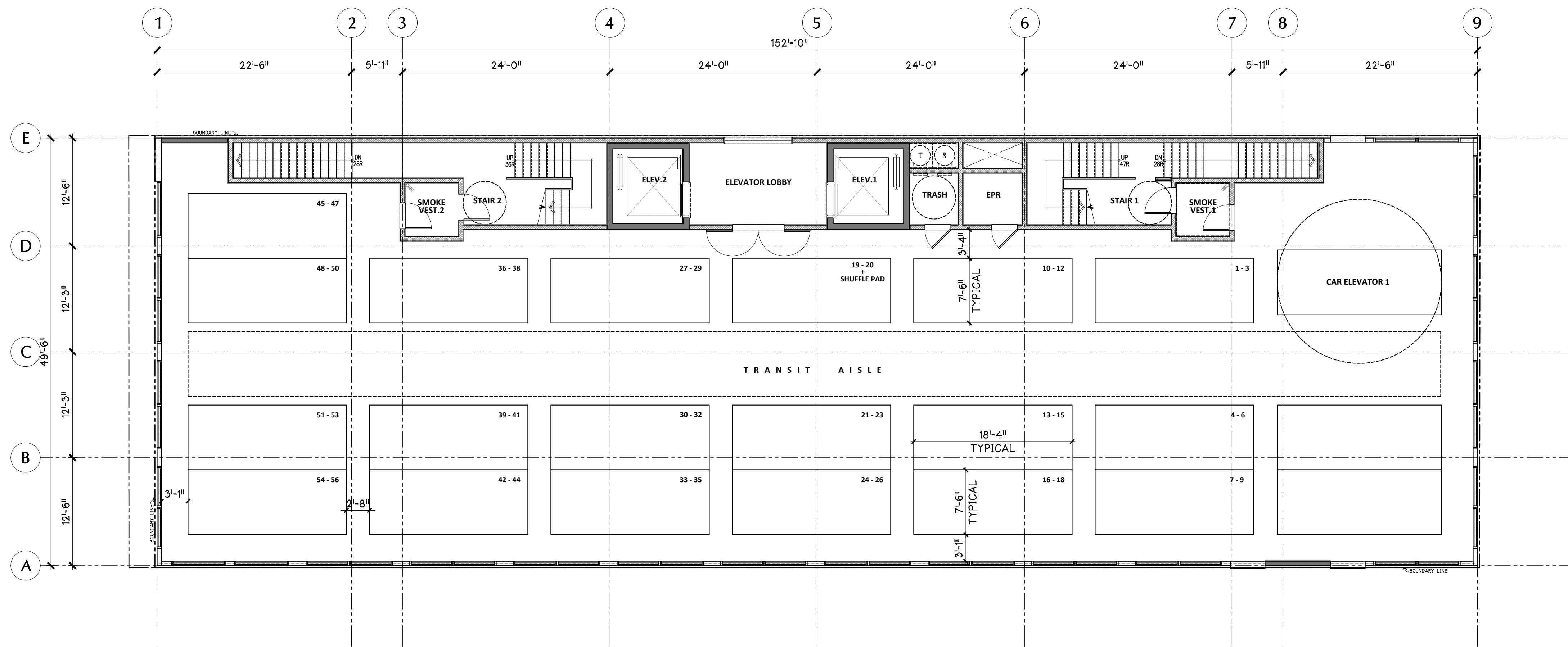
NO.	DATE	DESCRIPTION
041520	SPR Submittal	
060420	SPR Resubmittal	

PERMIT NO:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

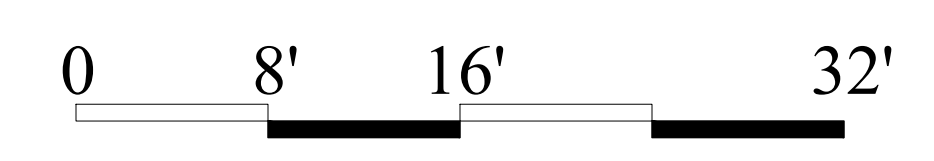
Project Number :
BGA No. 19036

Sheet Title :
L1 - GROUND FLOOR PLAN

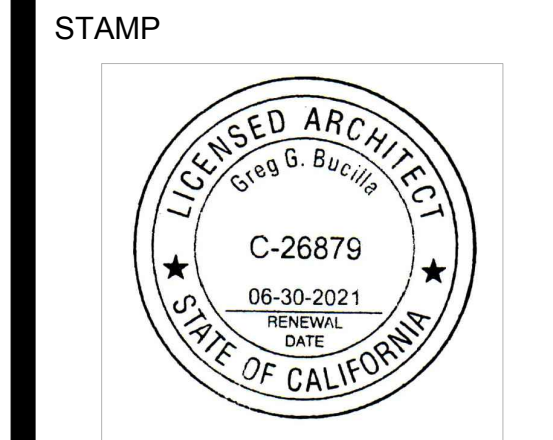
Sheet No. :
2.0 A -(DOT)



NOTE:
 3 LEVELS OF AUTOMATED
 STACKED PARKING
 1. 54 AUTO BAYS
 2. 2 BIKE BAYS



L2 - PARKING LEVEL 1
 SCALE: 1/8" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

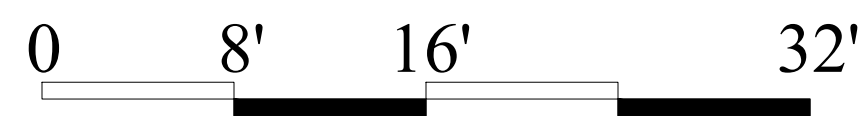
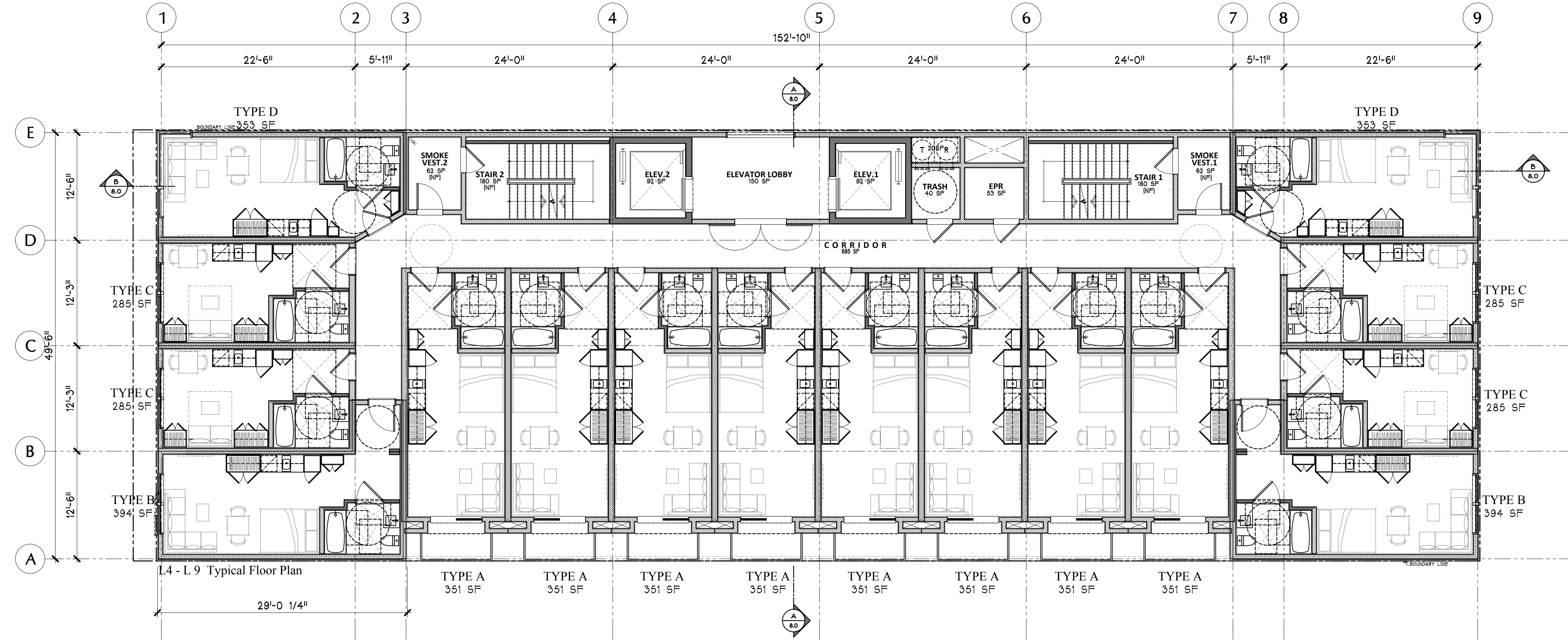
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

PERMIT NO.:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

Project Number :
BGA No. 19036

Sheet Title :
L2 - PARKING LEVEL 1

Sheet No. :
3.0



L3 TO L9 - FLAT LEVEL

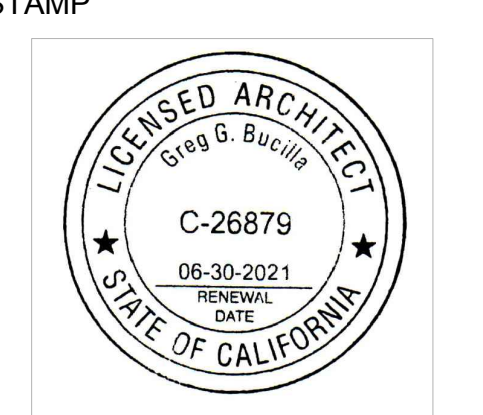
SCALE: 1/8" = 1'-0"

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VALUE ENGINEERING

19782 Mac Arthur Blvd., Suite 270, Irvine, CA 92612
 TEL 949.851.9080 www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, not are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

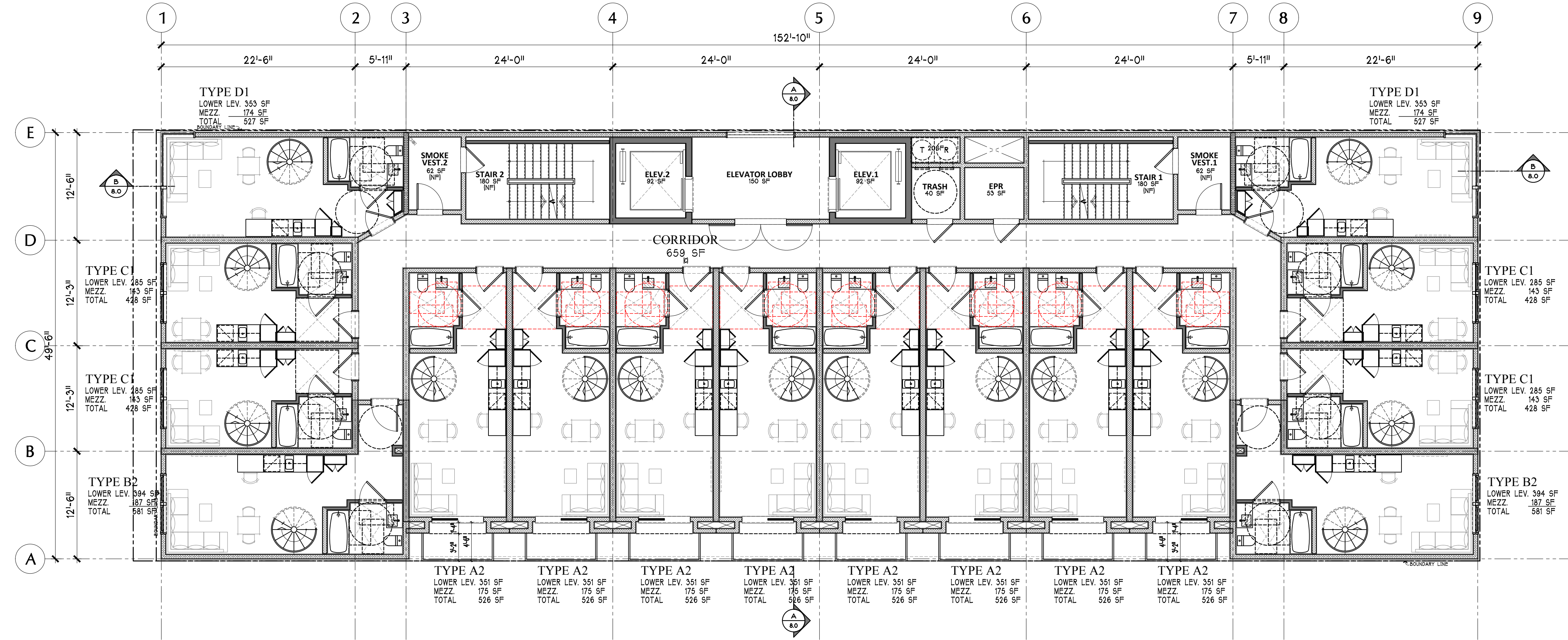
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

PERMIT NO:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

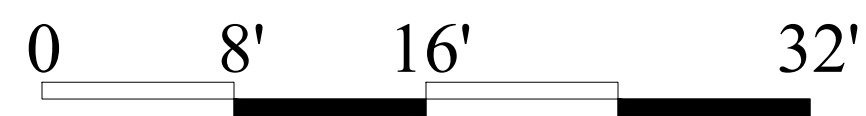
Project Number :
BGA No. 19036

Sheet Title :
L3 TO L9 - FLAT LEVEL

Sheet No. :
4.0

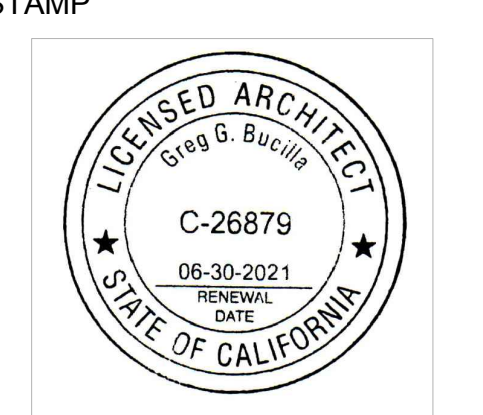


TYPE A2	LOWER LEV. 351 SF MEZZ. 175 SF TOTAL 526 SF	TYPE A2	LOWER LEV. 351 SF MEZZ. 175 SF TOTAL 526 SF	TYPE A2	LOWER LEV. 351 SF MEZZ. 175 SF TOTAL 526 SF	TYPE A3	LOWER LEV. 351 SF MEZZ. 175 SF TOTAL 526 SF	TYPE A2	LOWER LEV. 351 SF MEZZ. 175 SF TOTAL 526 SF	TYPE A2	LOWER LEV. 351 SF MEZZ. 175 SF TOTAL 526 SF	TYPE A2	LOWER LEV. 351 SF MEZZ. 175 SF TOTAL 526 SF	TYPE A2	LOWER LEV. 351 SF MEZZ. 175 SF TOTAL 526 SF
---------	---	---------	---	---------	---	---------	---	---------	---	---------	---	---------	---	---------	---



L10 TO L11 - LOWER LEVEL

SCALE: 1/8" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

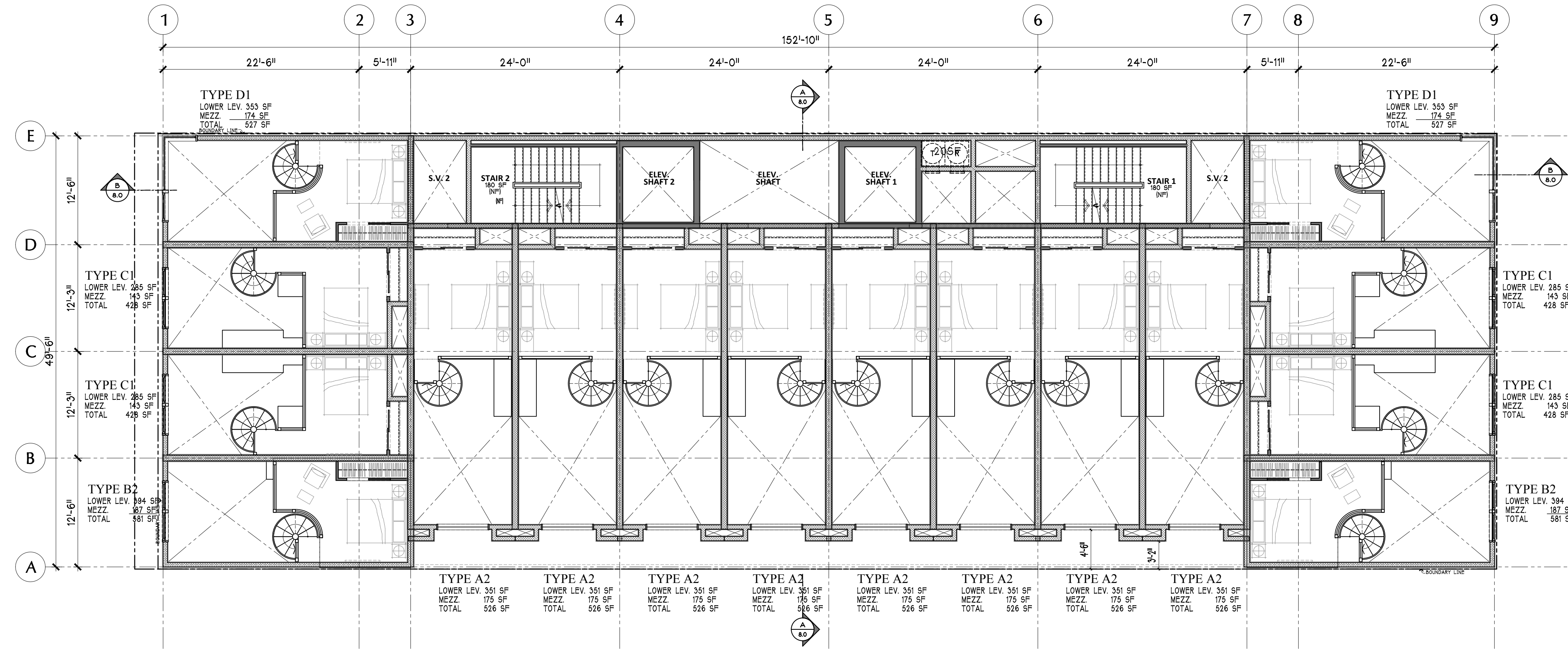
NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

PERMIT NO:
DD SUBM. DATE: 04/15/20
BD SUBM. DATE:
PLOT DATE: 04/15/20

Project Number :
BGA No. 19036

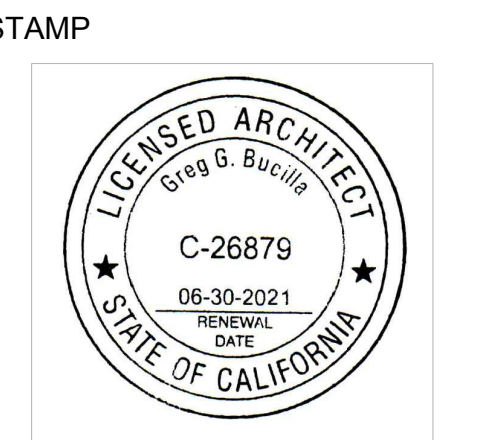
Sheet Title :
L10 TO L11 - LOWER LEVEL

Sheet No. :
5.0



L10 TO L11 - MEZZANINE LEVEL

SCALE: 1/8" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

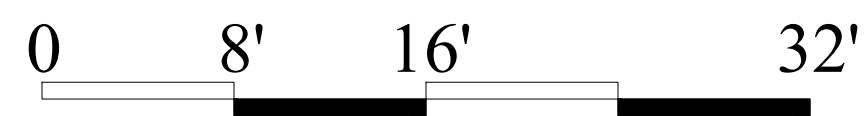
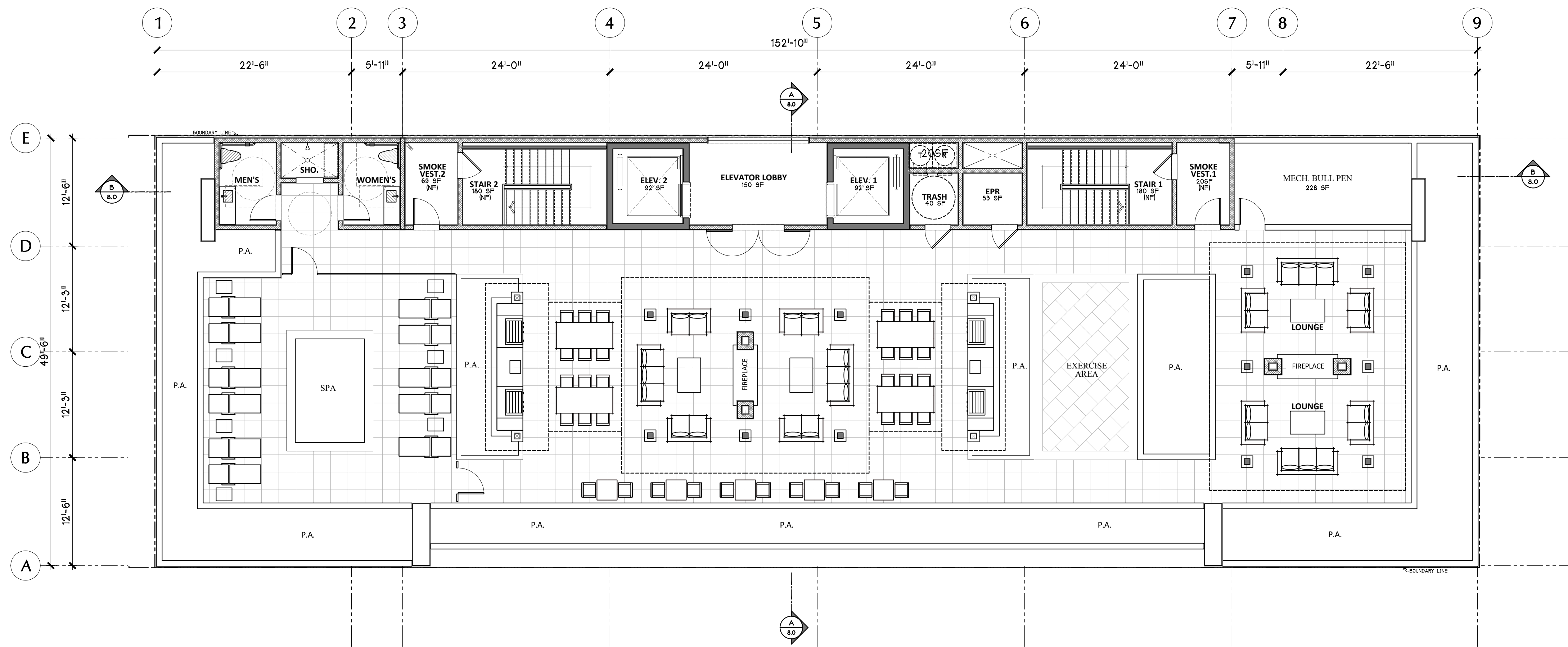
PERMIT NO.:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

Project Number :
BGA No. 19036

Sheet Title :
L10 TO L11 - MEZZANINE LEVEL

Sheet No. :

5.1

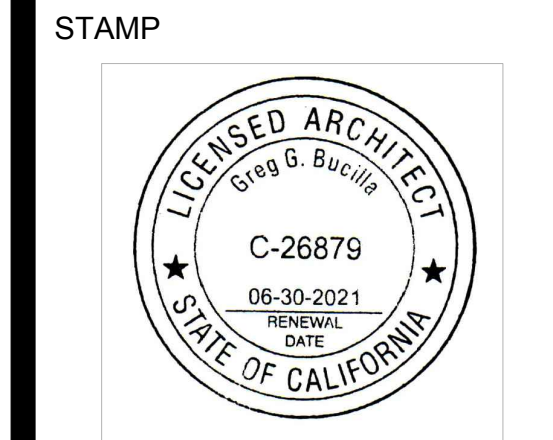


L12 - ROOF DECK

SCALE: 1/8" = 1'-0"

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VALUE ENGINEERING
 19782 Mac Arthur Blvd., Suite 270, Irvine, CA 92612
 TEL. 949.851.9080 www.bg-architecture.com



Project :
HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

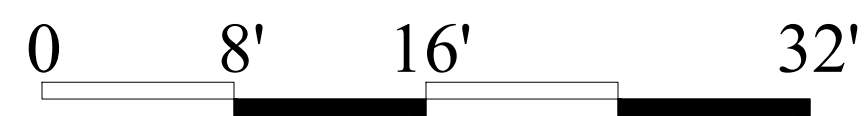
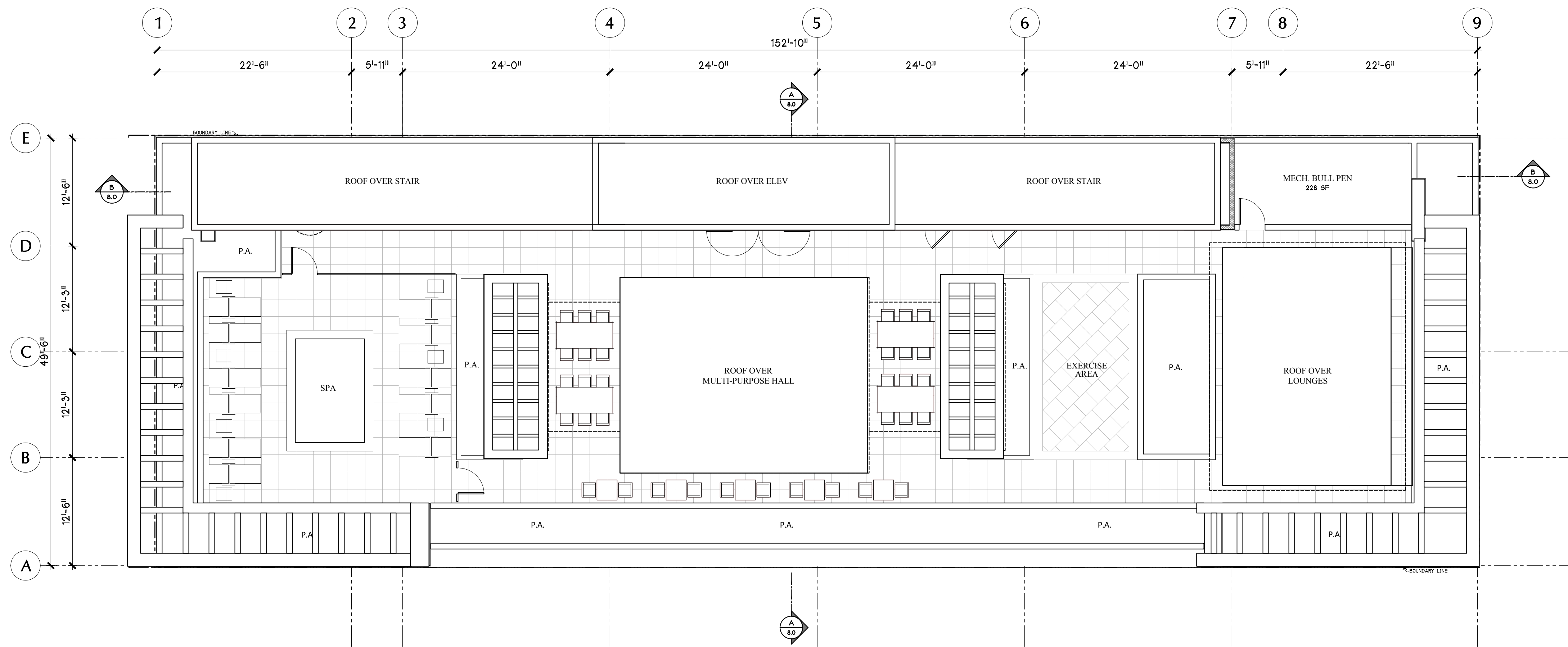
NO.	DATE	DESCRIPTION
041520	04/15/20	SPR Submittal
060420	06/04/20	SPR Resubmittal

PERMIT NO:
 DD SUBM. DATE: 04/15/20
 BD SUBM. DATE:
 PLOT DATE: 04/15/20

Project Number :
BGA No. 19036

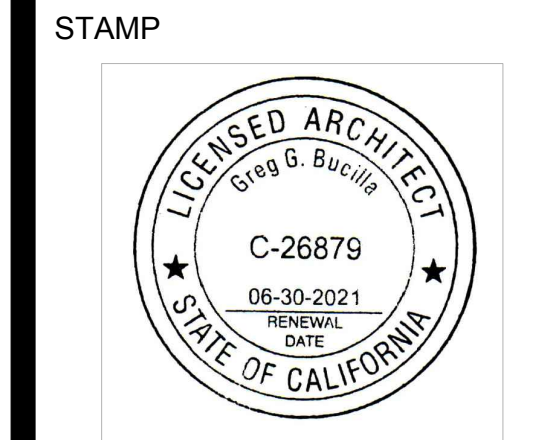
Sheet Title :
L12 - ROOF DECK

Sheet No. :
6.0



L12 - ROOF PLAN

SCALE: 1/8" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY
 Project :

HOTEL
 1130 South Hope Street
 Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
 1434 East Oak Ave,
 El Segundo, CA 90045

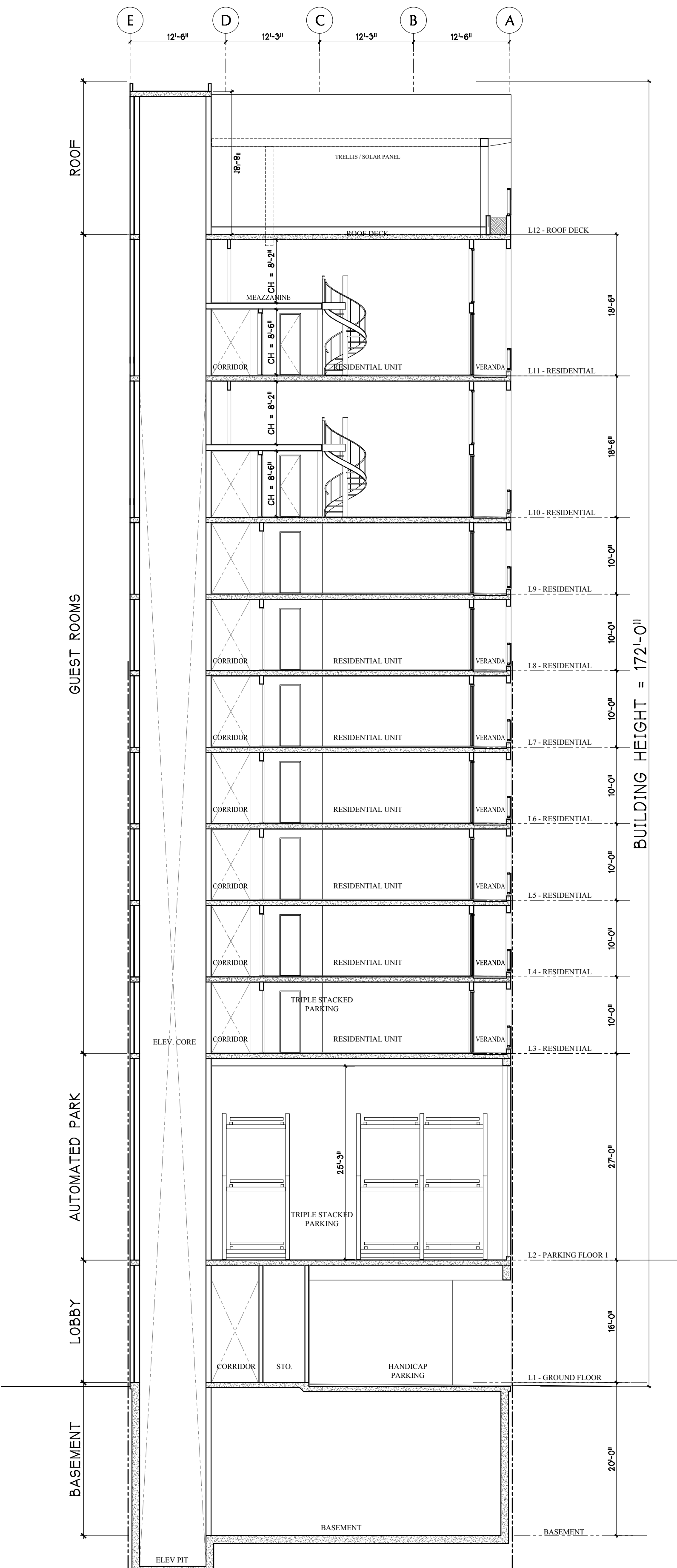
NO.	DATE	DESCRIPTION
041520	04/15/20	SPR Submittal
060420	06/04/20	SPR Resubmittal

PERMIT NO:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

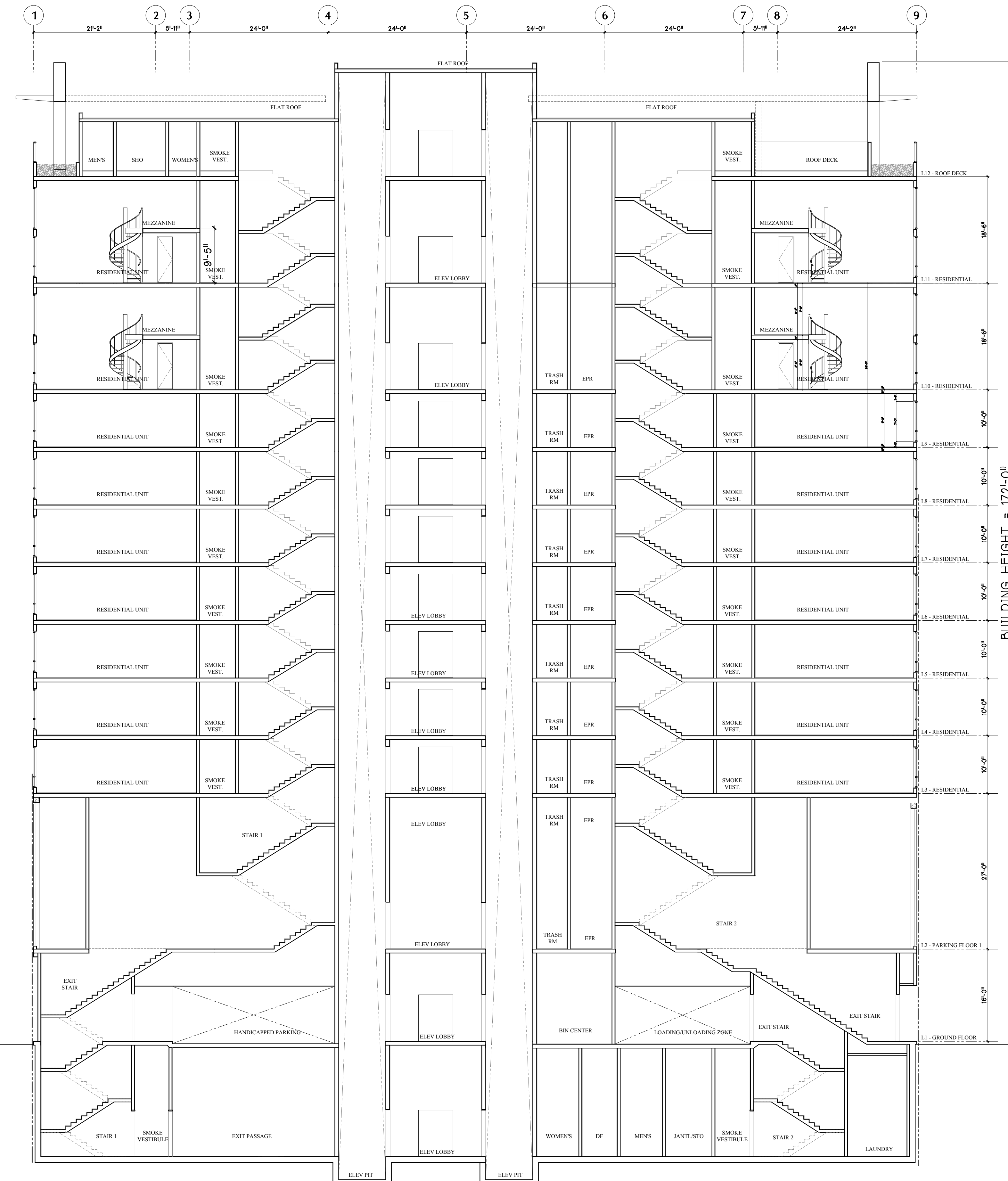
Project Number :
BGA No. 19036

Sheet Title :
L12 - ROOF PLAN

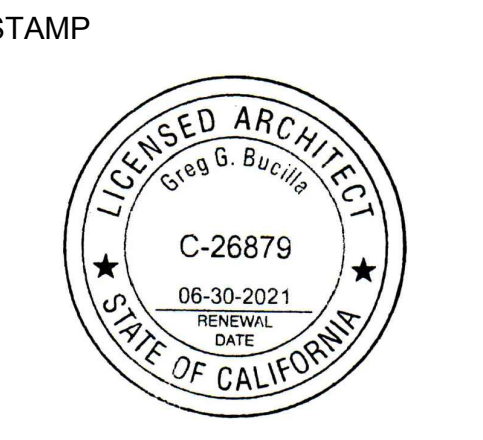
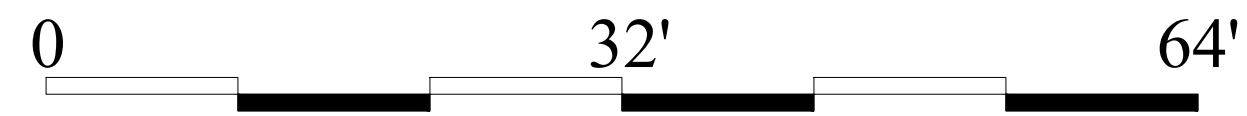
Sheet No. :
6.1



SECTION A - A
SCALE: 3/32" = 1'-0"



SECTION B - B
SCALE: 3/32" = 1'-0"



Project:

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

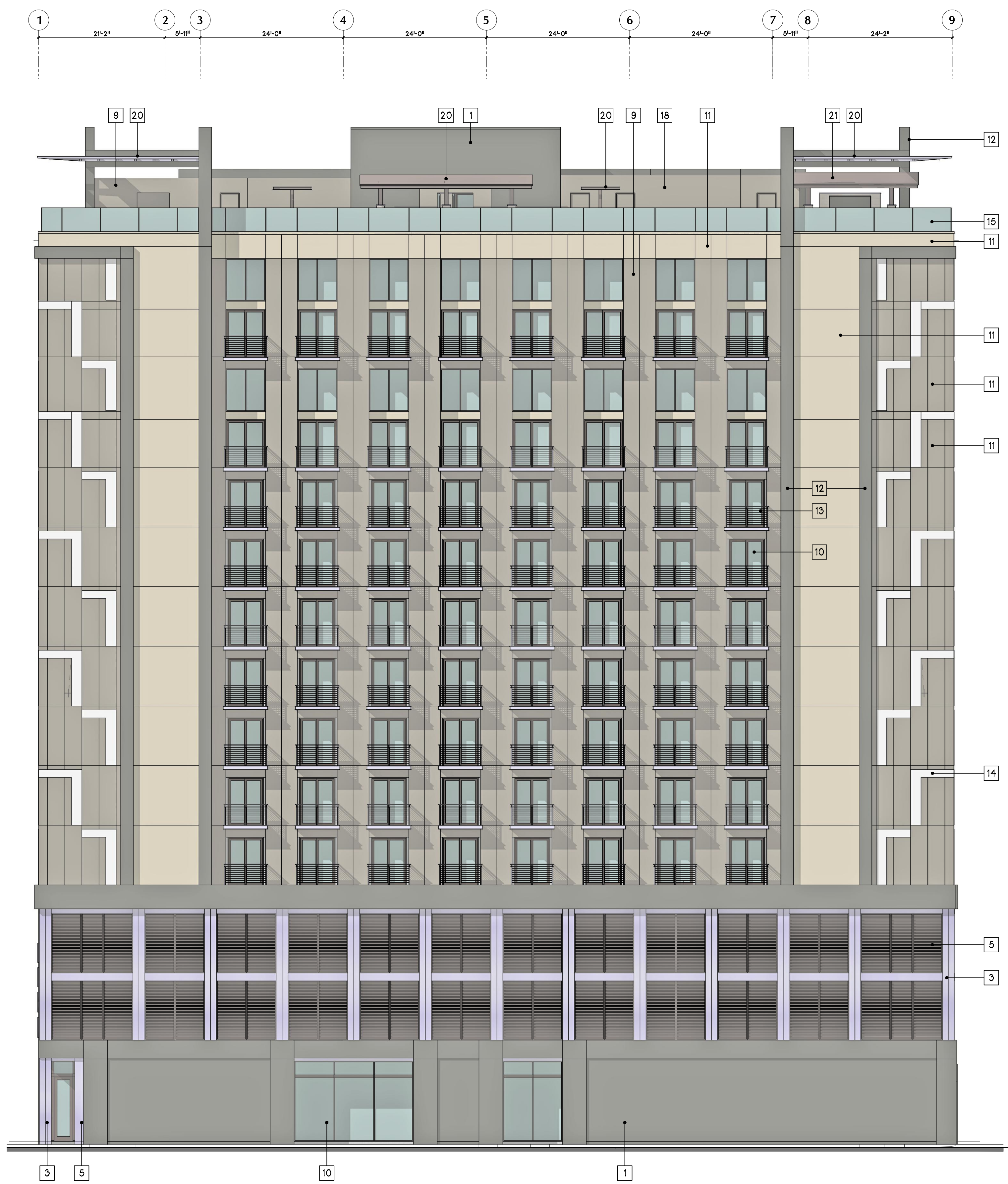
NO.	DATE	DESCRIPTION
041520	04/15/20	SPR Submittal
060420	04/15/20	SPR Resubmittal

PERMIT NO:
DD SUBM. DATE: 04/15/20
BD SUBM. DATE:
PLOT DATE: 04/15/20

Project Number:
BGA No. 19036

Sheet Title:
**SECTION A - A
SECTION B - B**

Sheet No.:
7.0



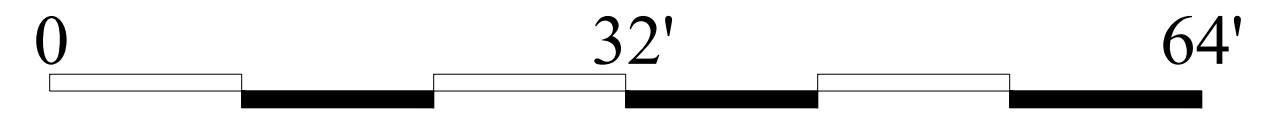
SOUTH ELEVATION (RIGHT SIDE)

SCALE: 3/32" = 1'-0"

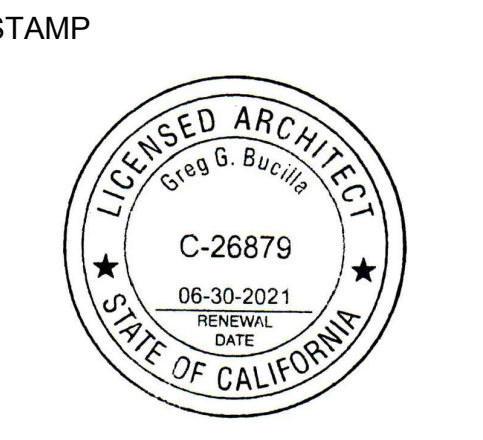


WEST ELEVATION (FRONT)

SCALE: 3/32" = 1'-0"



BUILDING COLOR AND MATERIAL SUMMARY			
No.	Arch Element / Location	Specification / Color	Glazing
1	Facade / Bldg base	GFRC Panel / Dark Grey	
2	Store Front / frontage & side	Aluminum / Dark Bronze	PPG / Starphire
3	Horz & Vert Trim / L2	GFRC Panel / aluminum	
4	Signage / all sides	GFRC Panel / aluminum	
5	Grill Panel / Parking L2	Aluminum / Dark Bronze	
6	Roll up Doors / Automated Parking Entry	Ribbed Metal / Med Grey	
7	reserved		
8	Horiz Panel / L3 - L12	GFRC Panel / Dark Grey	
9	Wall Panel / L3 - L12	GFRC Panel / Med Grey	
10	Windows & Doors / L3 - L12	Aluminum / Dark Bronze	PPG / Starphire
11	Concrete Panel / L2 - L12 at north and south elevation	Smooth Concrete / Lt Beige	
12	Fin Walls / L2 - L12	GFRC Panel / Dark Grey	
13	Railing / Balcony	Metal / Dark Bronze	
14	Accent Panels / L3 - L11 at front, rear & partial side elev.	GFRC Panel / Off White & Med Grey	
15	Glass Panel / inserted into u-shaped channel	Metal / Dark Bronze	PPG / Starphire
16	Shade Device / Rooftop Front & Rear	Metal / Dark Bronze	
17	Accent Scored Concrete / L2 - L12 north wall	Smooth Concrete / Med & Dark Grey - simulated vertical panels	
18	Structures / Rooftop Walls	Smooth Concrete / Med Grey	
19	Structures / Roof	Cool Roof / Lt Beige	
20	Shade Structures / Rooftop	Tube Steel / Dark Bronze	
21	Shade Structures / Sloping Roof	Metal Panel / Dark Bronze	
22	Raised Pavers / Rooftop	Stone / Travertine Grey	



ATTEST TO ARCHITECTURAL ONLY
Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

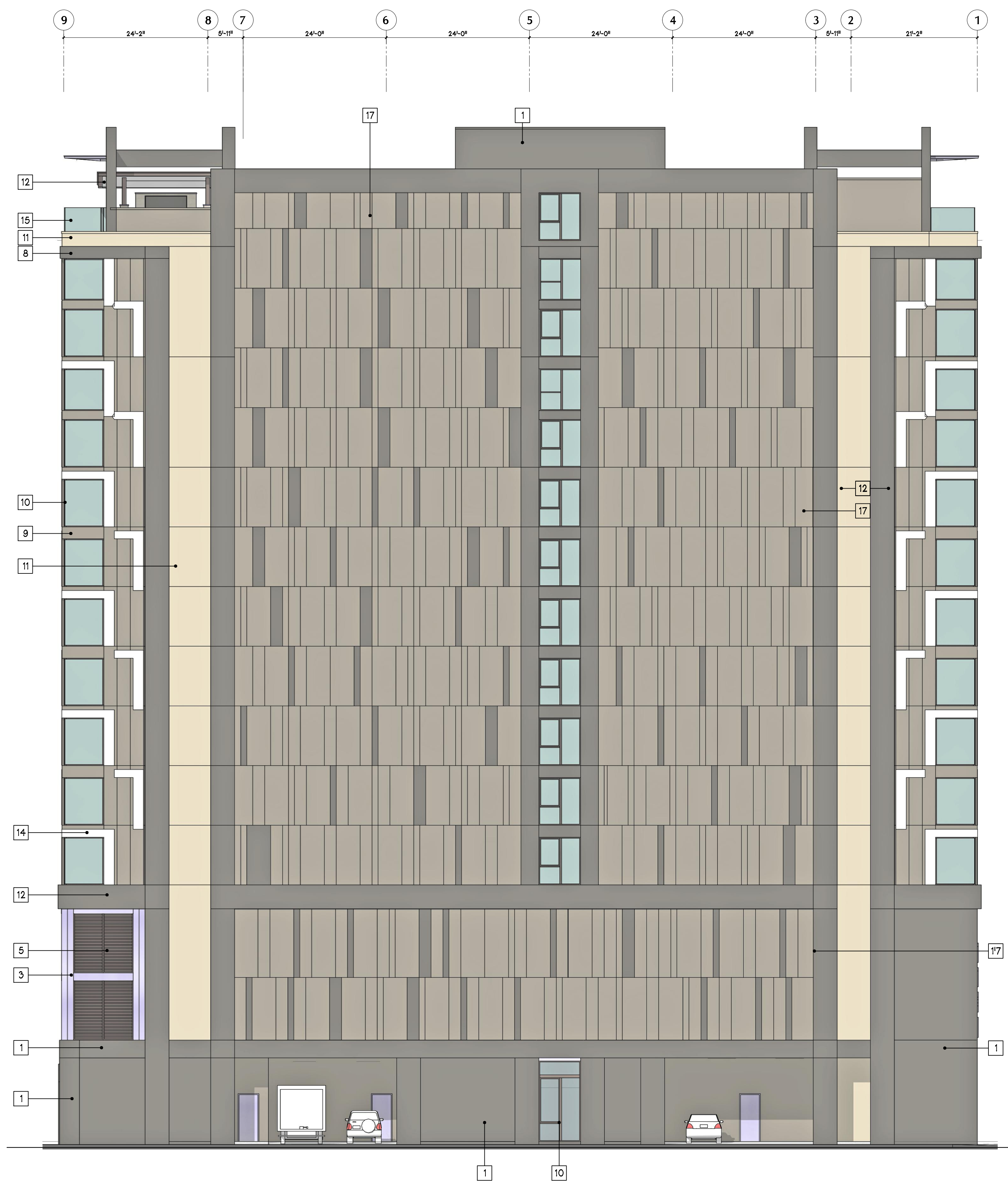
NO.	DATE	DESCRIPTION
041520	04/15/20	SPR Submittal
060420	06/04/20	SPR Resubmittal

PERMIT NO:
DD SUBM. DATE: 04/15/20
BD SUBM. DATE:
PLOT DATE: 04/15/20

Project Number :
BGA No. 19036

Sheet Title :
**LEFT SIDE ELEV.
FRONT ELEV**

Sheet No. :
8.1



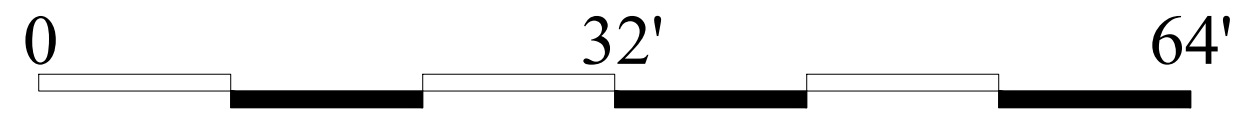
NORTH ELEVATION (LEFT SIDE)

SCALE: 3/32" = 1'-0"

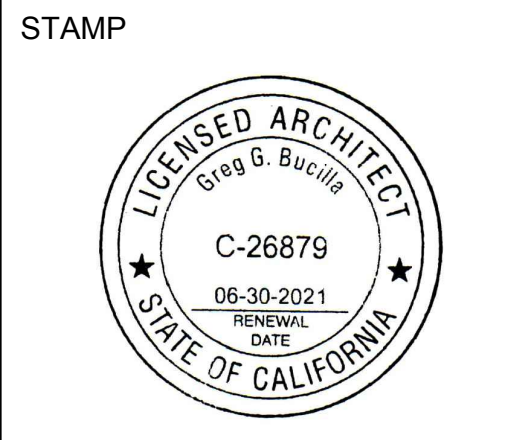


EAST ELEVATION (REAR)

SCALE: 3/32" = 1'-0"



BUILDING COLOR AND MATERIAL SUMMARY			
No.	Arch Element / Location	Specification / Color	Glazing
1	Facade / Bldg base	GFRC Panel / Dark Grey	
2	Store Front / frontage & side	Aluminum / Dark Bronze	PPG / Starphire
3	Horz & Vert Trim / L2	GFRC Panel / aluminum	
4	Signage / all sides	GFRC Panel / aluminum	
5	Grill Panel / Parking L2	Aluminum / Dark Bronze	
6	Roll up Doors / Automated Parking Entry	Ribbed Metal / Med Grey	
7	reserved		
8	Horiz Panel / L3 - L12	GFRC Panel / Dark Grey	
9	Wall Panel / L3 - L12	GFRC Panel / Med Grey	
10	Windows & Doors / L3 - L12	Aluminum / Dark Bronze	PPG / Starphire
11	Concrete Panel / L2 - L12 at north and south elevation	Smooth Concrete / Lt Beige	
12	Fin Walls / L2 - L12	GFRC Panel / Dark Grey	
13	Railing / Balcony	Metal / Dark Bronze	
14	Accent Panels / L3 - L11 at front, rear & partial side elev.	GFRC Panel / Off White & Med Grey	
15	Glass Panel / inserted into u-shaped channel	Metal / Dark Bronze	PPG / Starphire
16	Shade Device / Rooftop Front & Rear	Metal / Dark Bronze	
17	Accent Scored Concrete / L2 - L12 north wall	Smooth Concrete / Med & Dark Grey - simulated vertical panels	
18	Structures / Rooftop Walls	Smooth Concrete / Med Grey	
19	Structures / Roof	Cool Roof / Lt Beige	
20	Shade Structures / Rooftop	Tube Steel / Dark Bronze	
21	Shade Structures / Sloping Roof	Metal Panel / Dark Bronze	
22	Raised Pavers / Rooftop	Stone / Travertine Grey	



Project : **HOTEL**
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

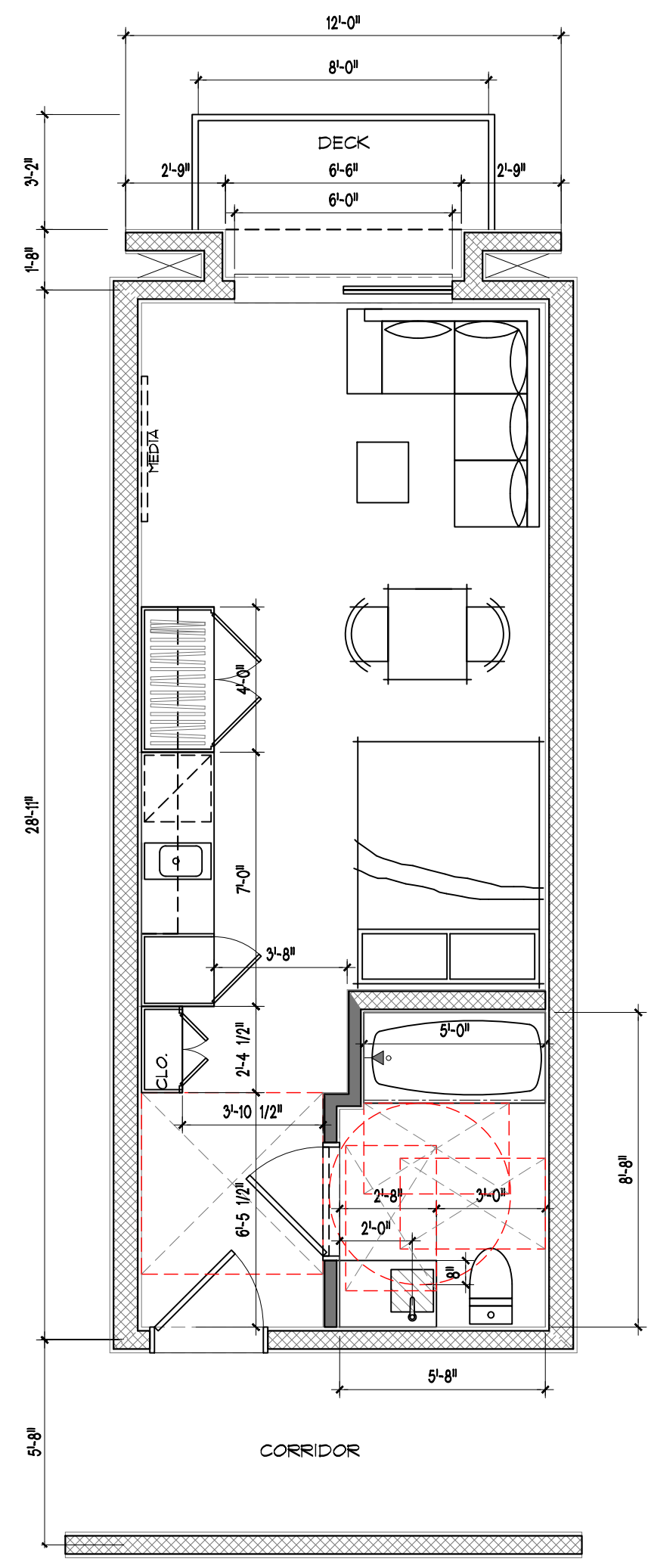
NO.	DATE	DESCRIPTION
041520	04/15/20	SPR Submittal
060420	06/04/20	SPR Resubmittal

PERMIT NO:
DD SUBM. DATE: 04/15/20
BD SUBM. DATE:
PLOT DATE: 04/15/20

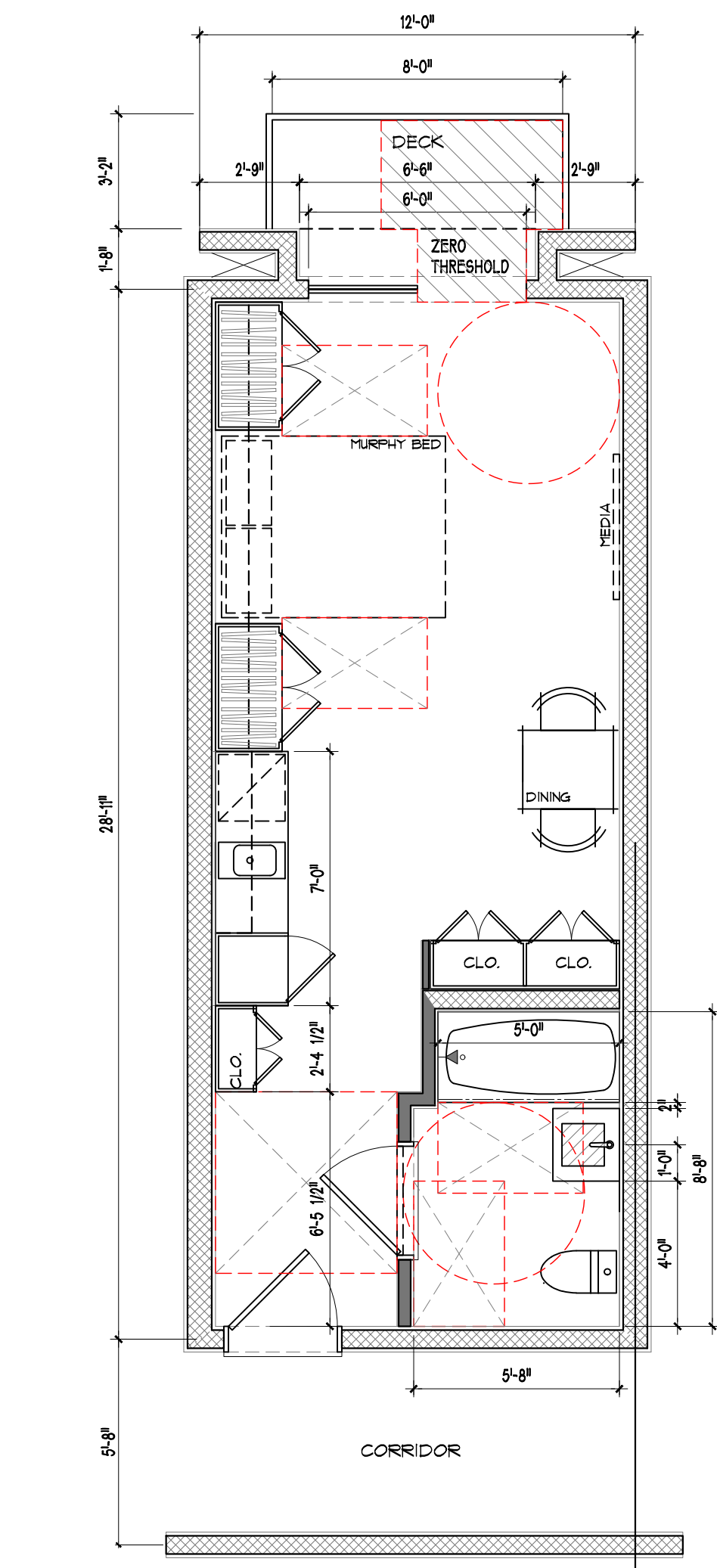
Project Number : **BGA No. 19036**

Sheet Title : **LEFT SIDE ELEV. FRONT ELEV**

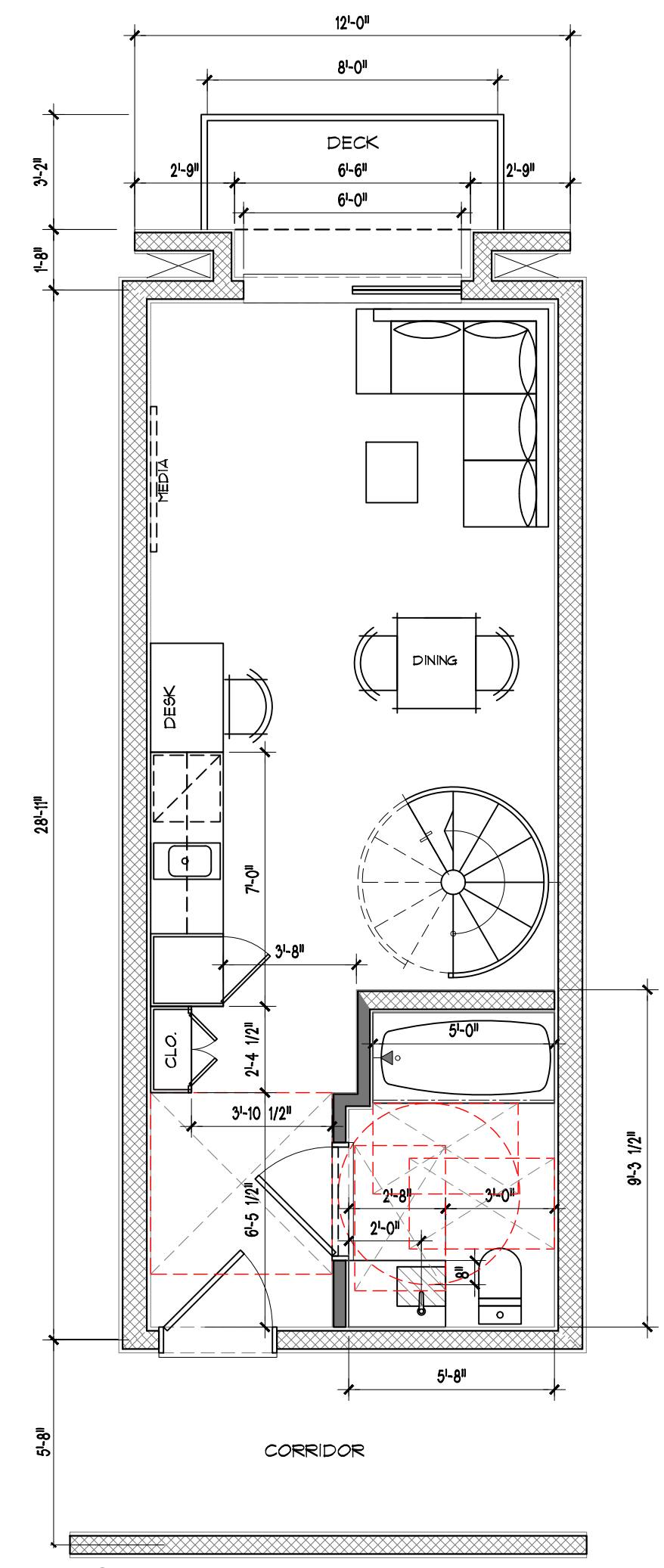
Sheet No. : **8.2**



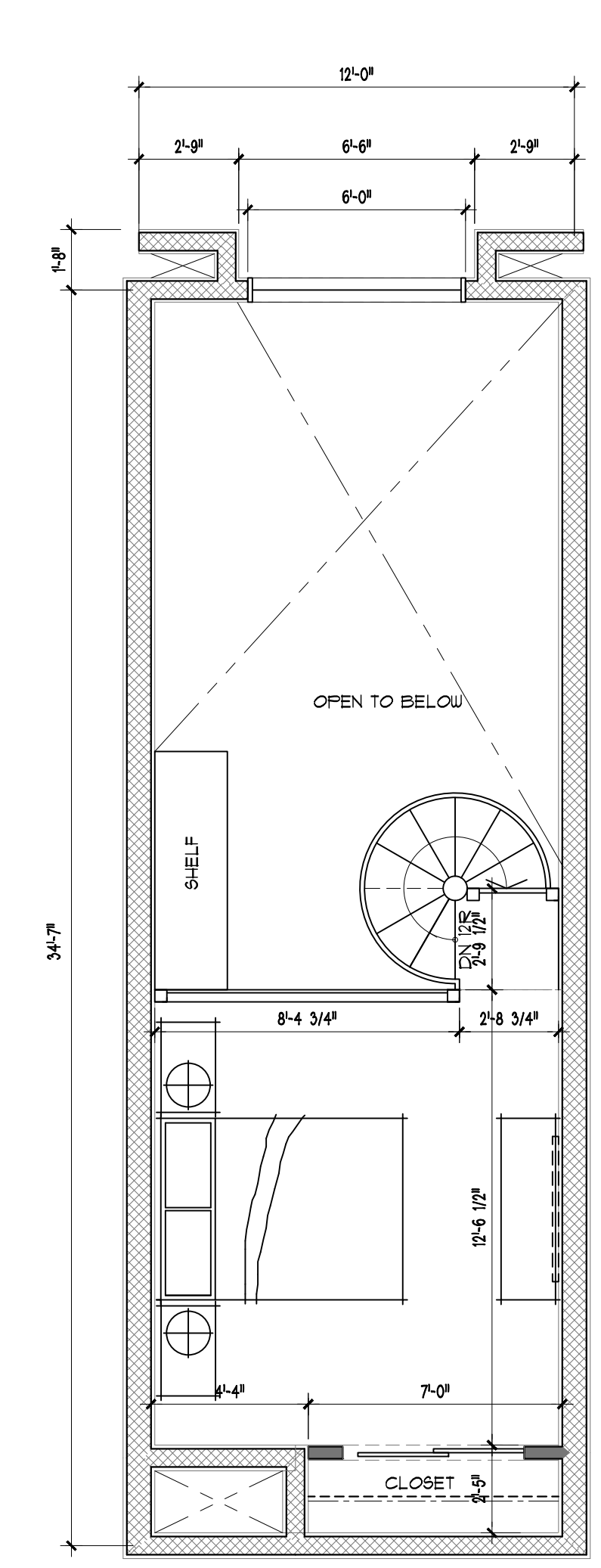
PLAN TYPE A
UNIT AREA = 351 SF



PLAN TYPE A1 - ACCESSIBLE
UNIT AREA = 351 SF

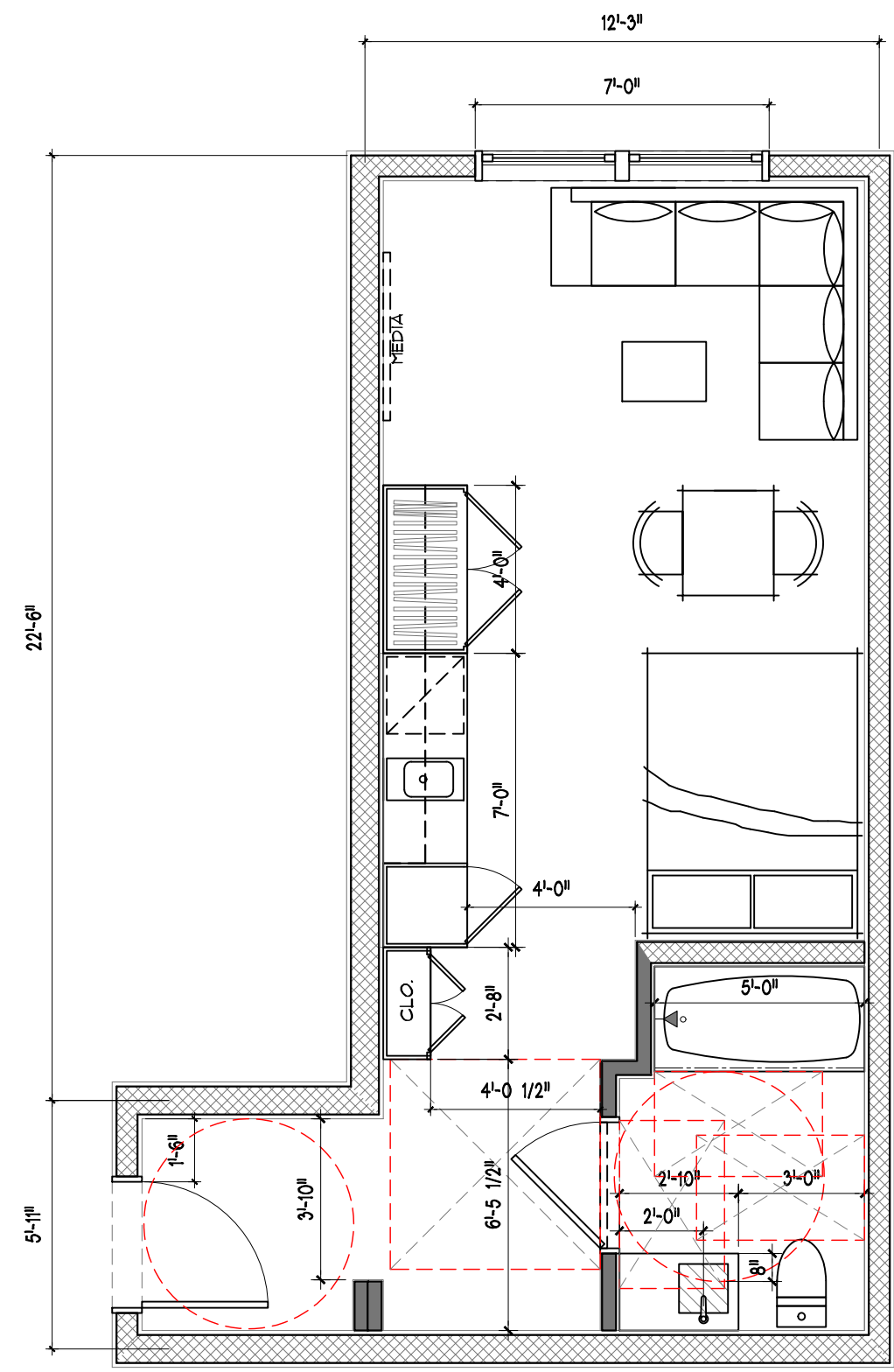


LOWER LEVEL
FLR AREA = 351 SF

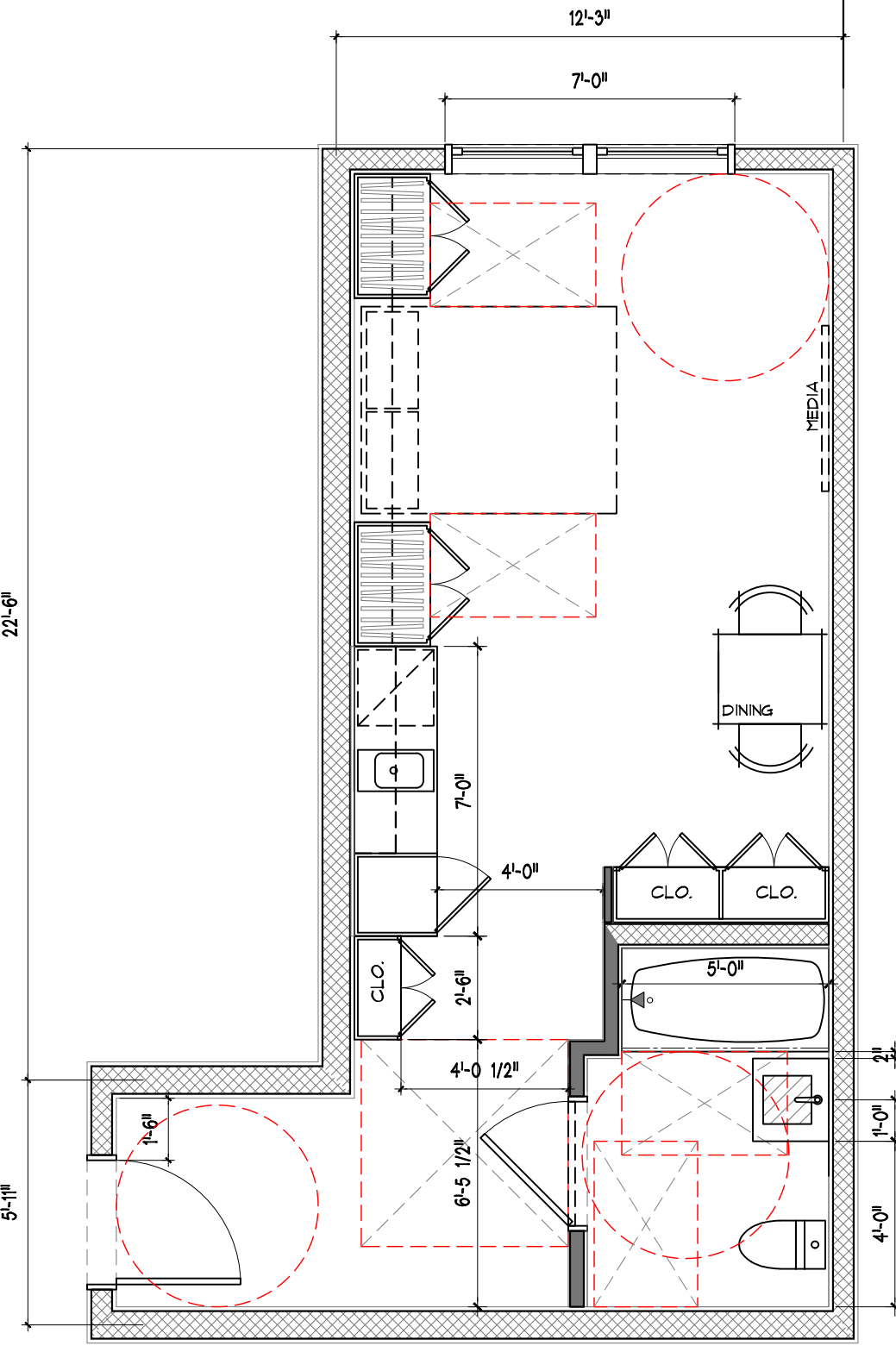


MEZZANINE
FLR AREA = 175 SF

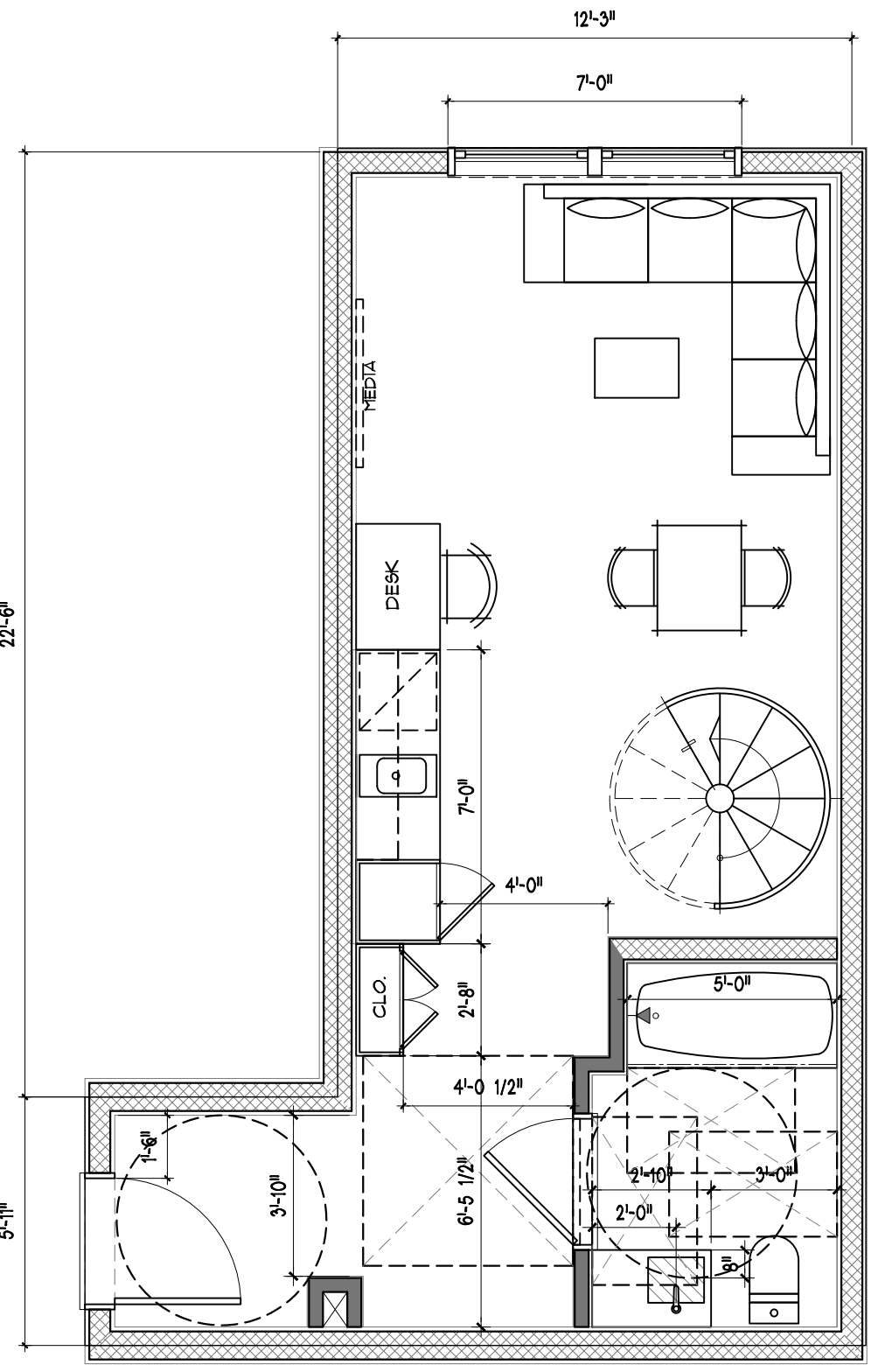
PLAN TYPE A2
UNIT AREA = 526 SF



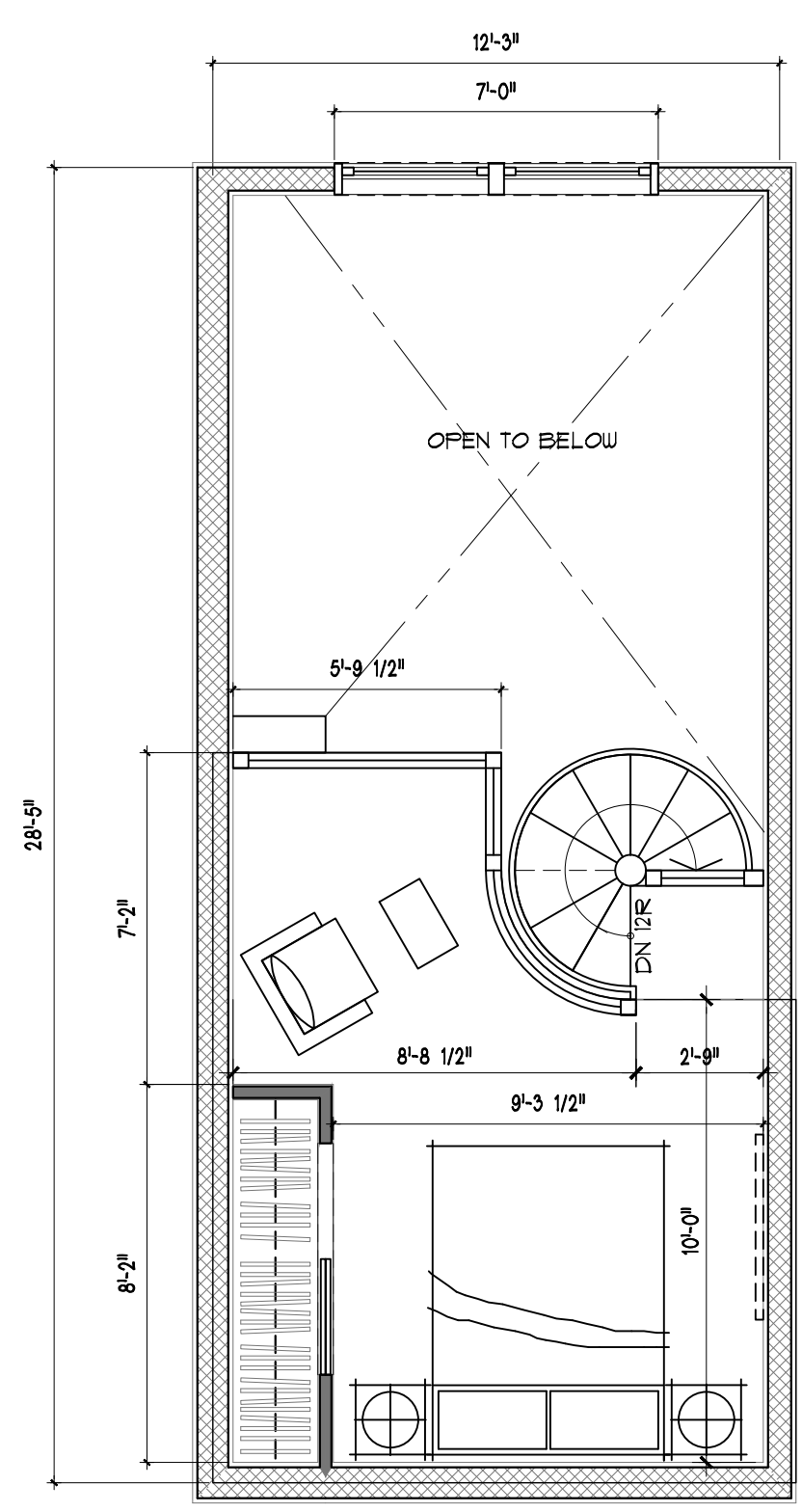
PLAN TYPE B
UNIT AREA = 394 SF



PLAN TYPE B1 - ACCESSIBLE
UNIT AREA = 394 SF



LOWER LEVEL
FLR AREA = 394 SF

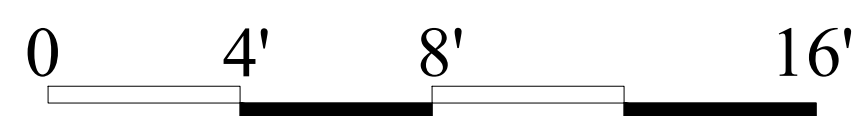


MEZZANINE
FLR AREA = 187 SF

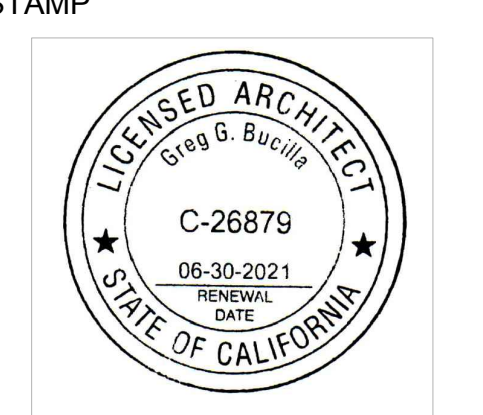
PLAN TYPE B2
UNIT AREA = 581 SF

UNIT TYPE PLAN

SCALE: 1/4" = 1'-0"



BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



Project:

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

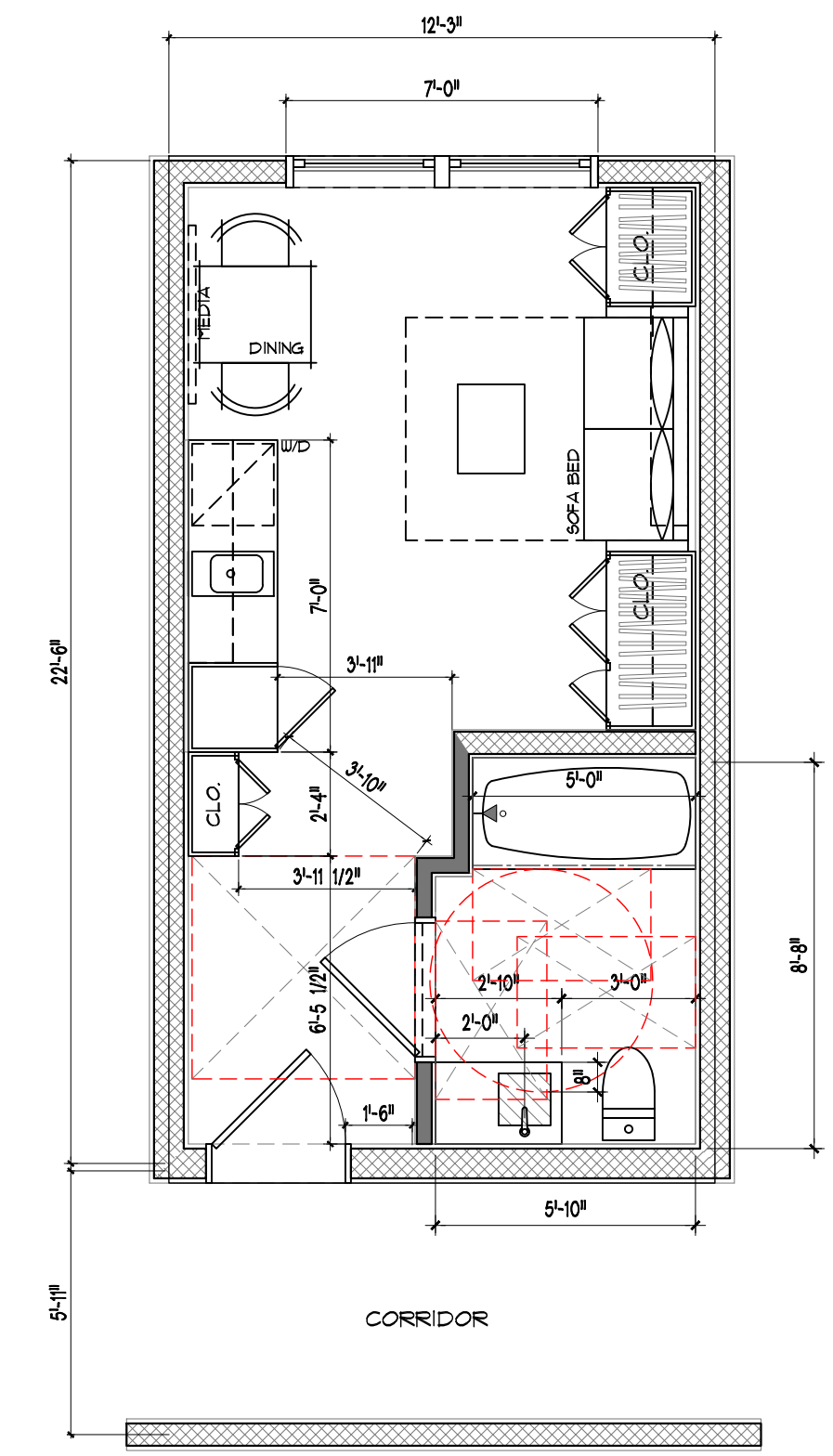
PERMIT NO:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

Project Number:
BGA No. 19036

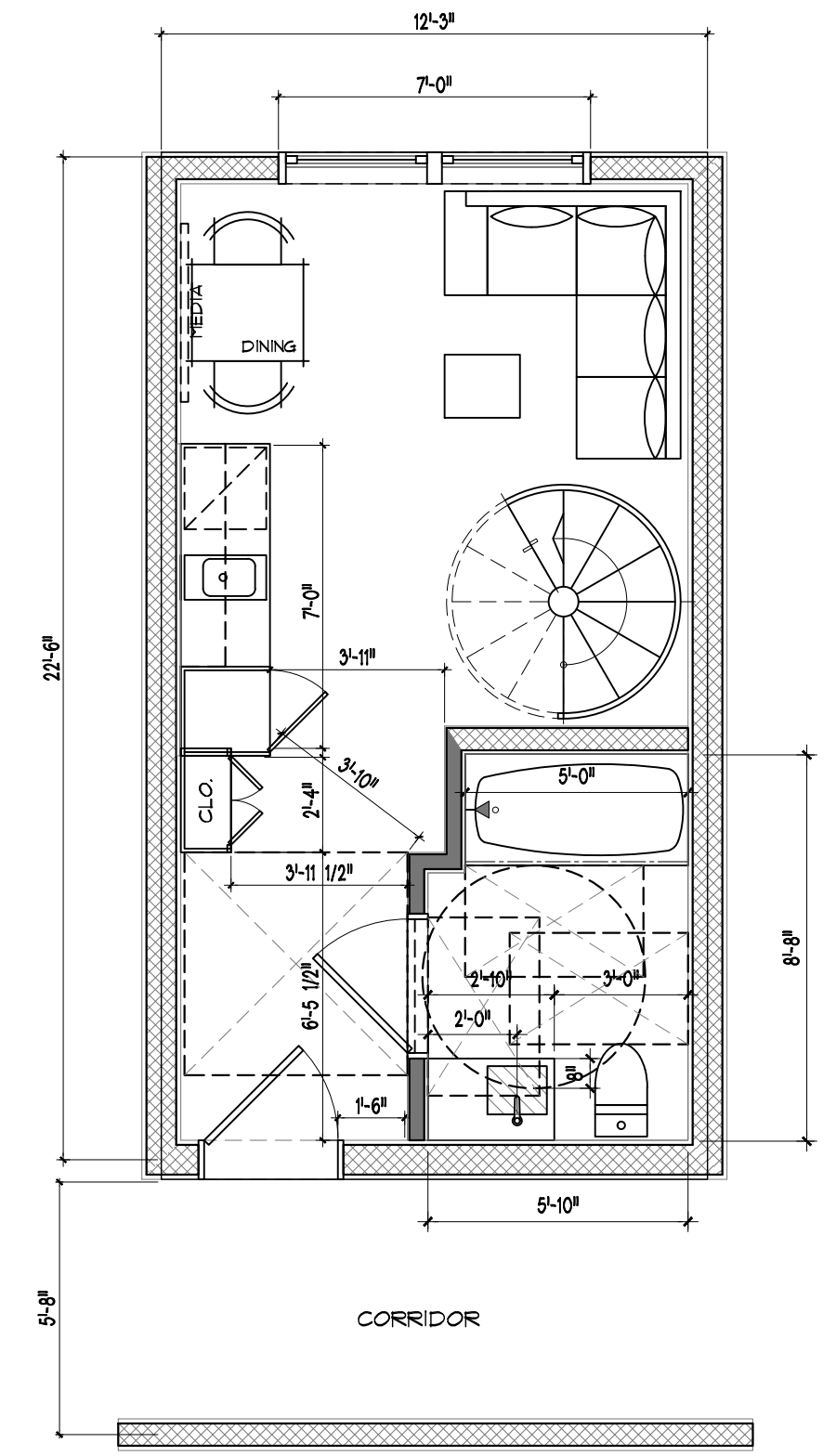
- Sheet Title:
- UNIT TYPE PLAN
 - TYPE A
 - TYPE A1
 - TYPE A2
 - TYPE B
 - TYPE B1
 - TYPE B2

Sheet No.:

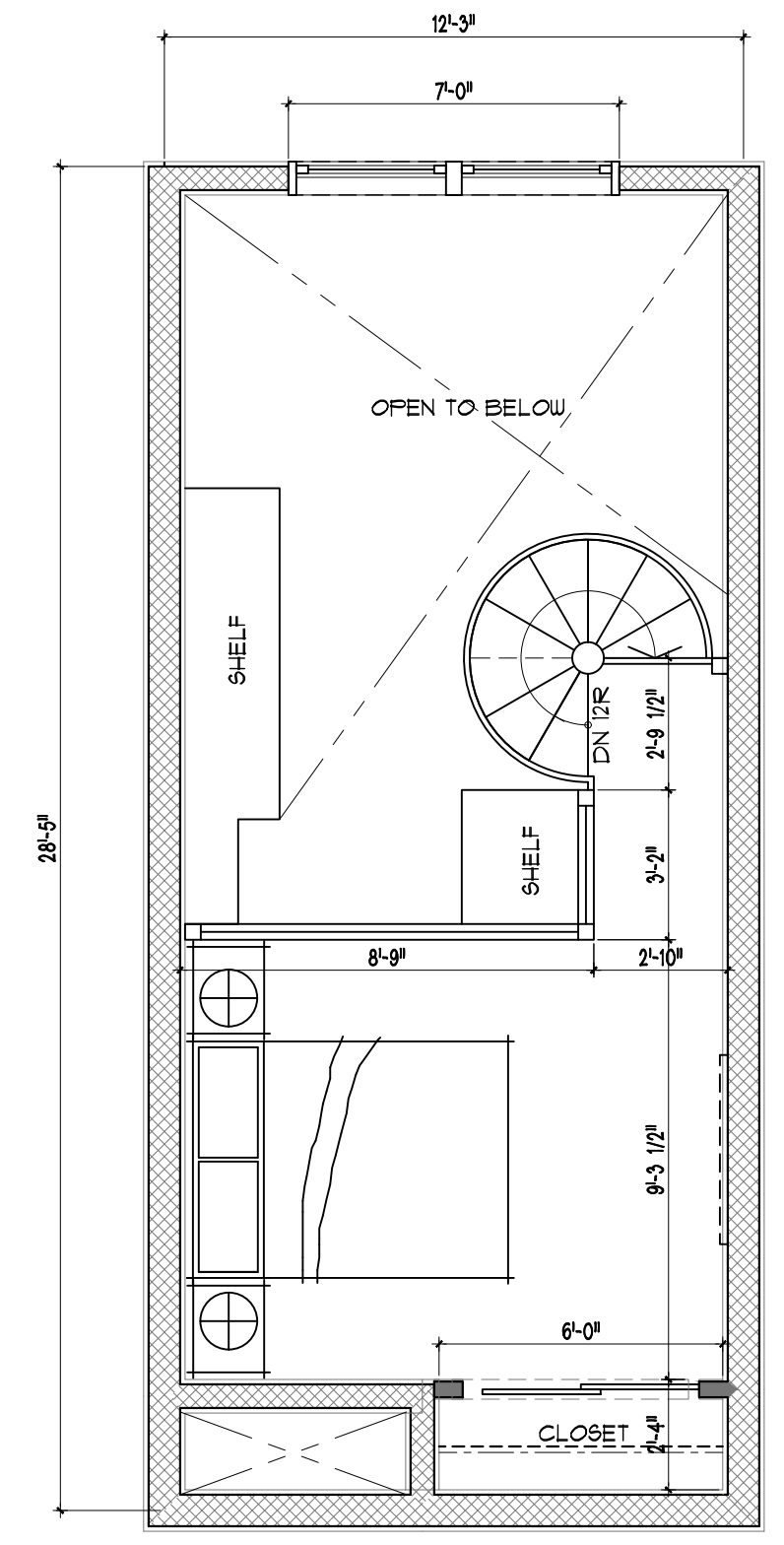
DD-9.1



PLAN TYPE C
UNIT AREA = 285 SF

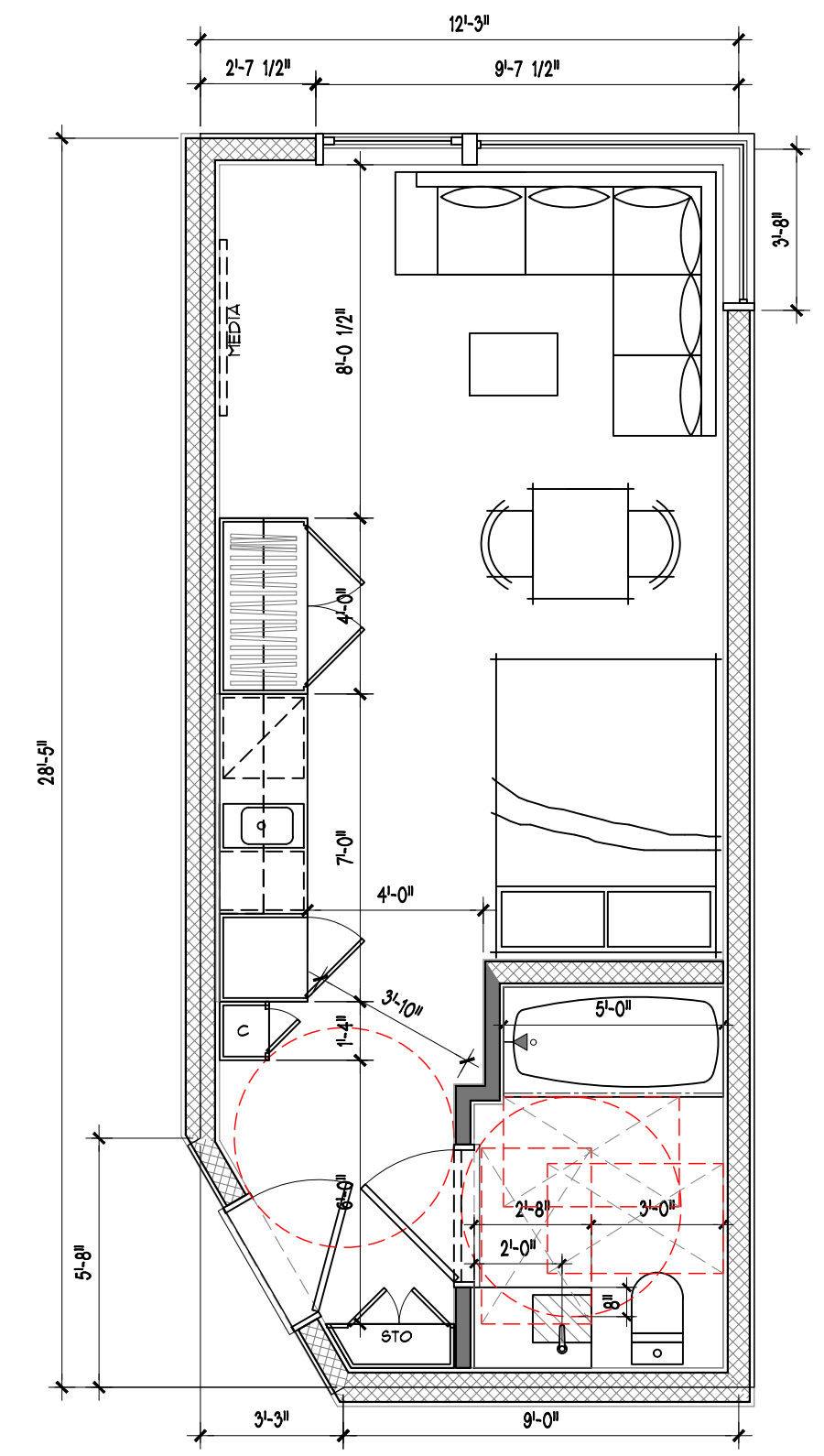


LOWER LEVEL
FLR AREA = 285 SF

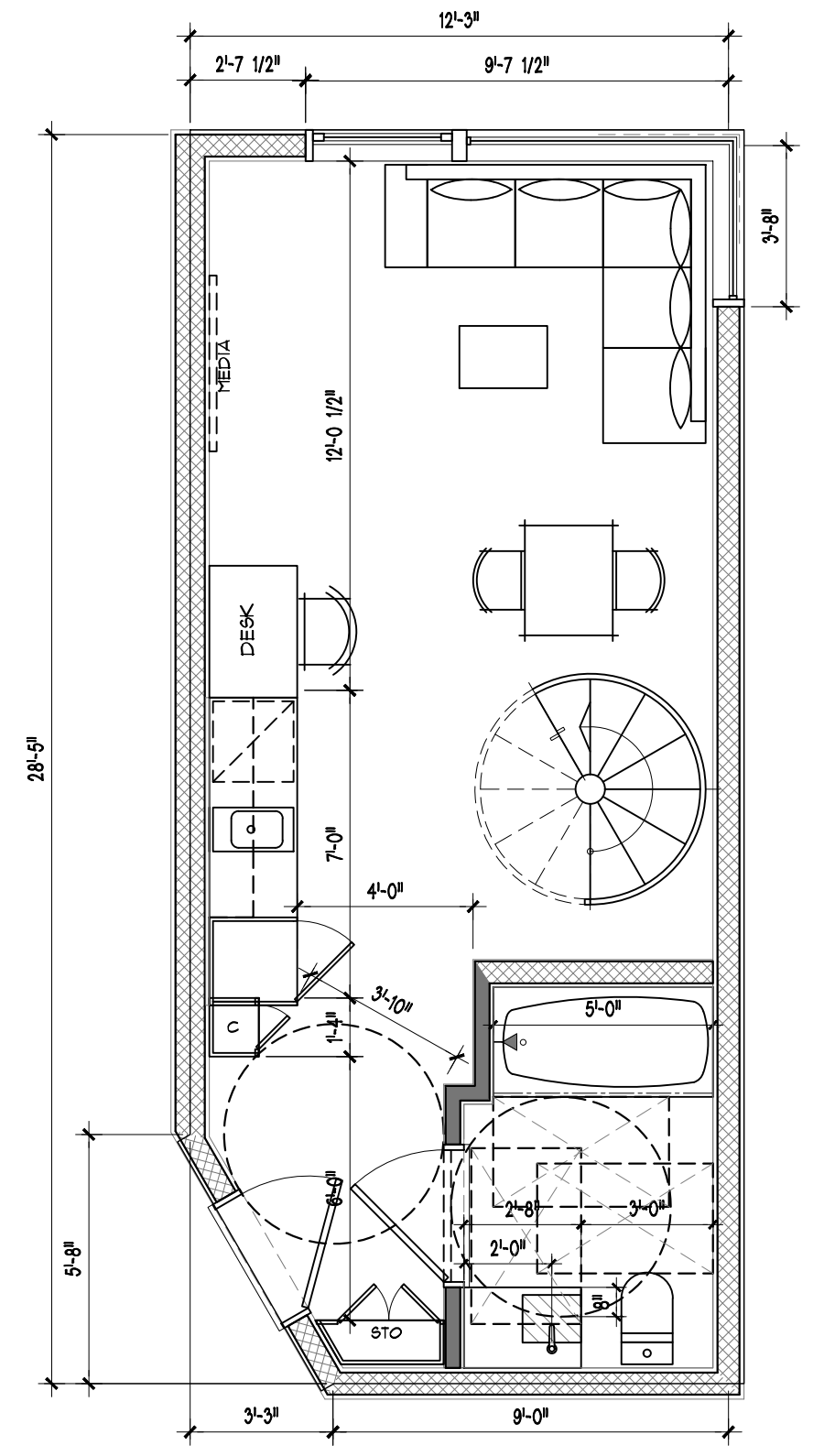


MEZZANINE
FLR AREA = 143 SF

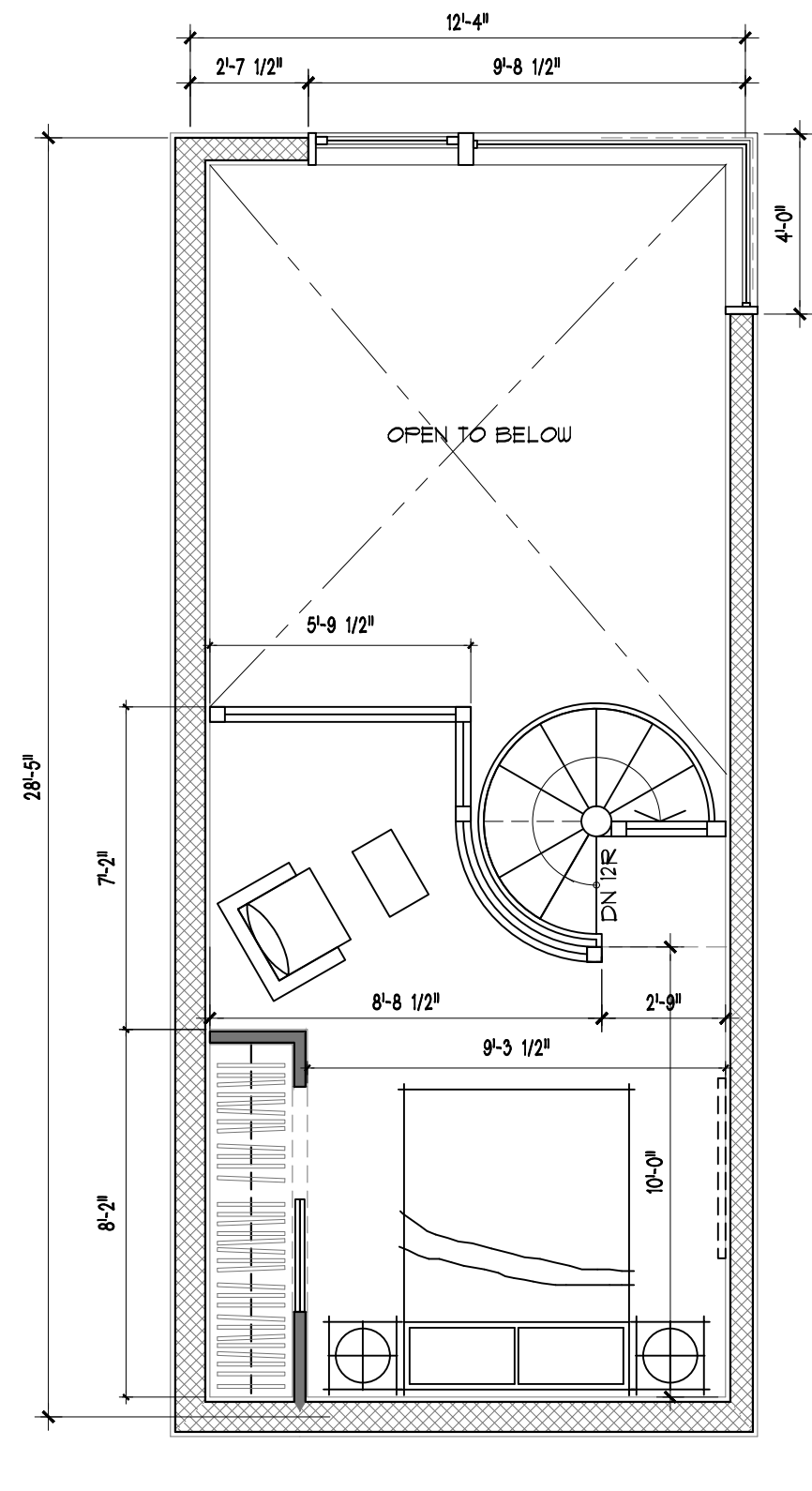
PLAN TYPE C1
UNIT AREA = 428 SF



PLAN TYPE D
UNIT AREA = 353 SF



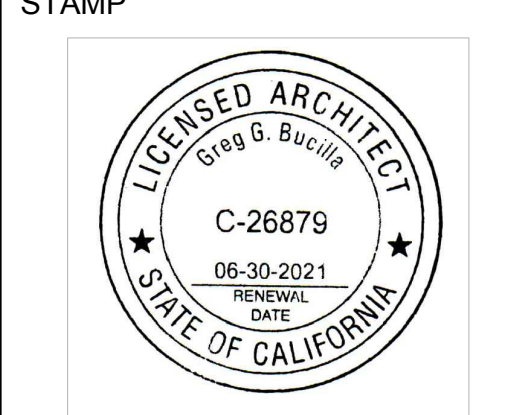
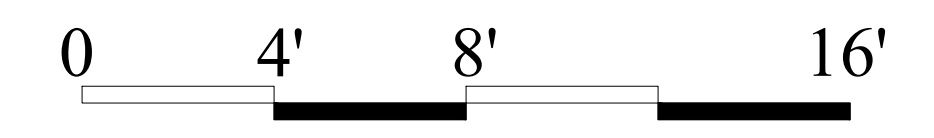
LOWER LEVEL
FLR AREA = 353 SF



MEZZANINE
FLR AREA = 174 SF

PLAN TYPE D1
UNIT AREA = 527 SF

UNIT TYPE PLAN
SCALE: 1/4" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

NO.	DATE	DESCRIPTION
041520		SPR Submittal
060420		SPR Resubmittal

PERMIT NO:	
DD SUBM. DATE:	04/15/20
BD SUBM. DATE:	
PLOT DATE:	04/15/20

Project Number :
BGA No. 19036

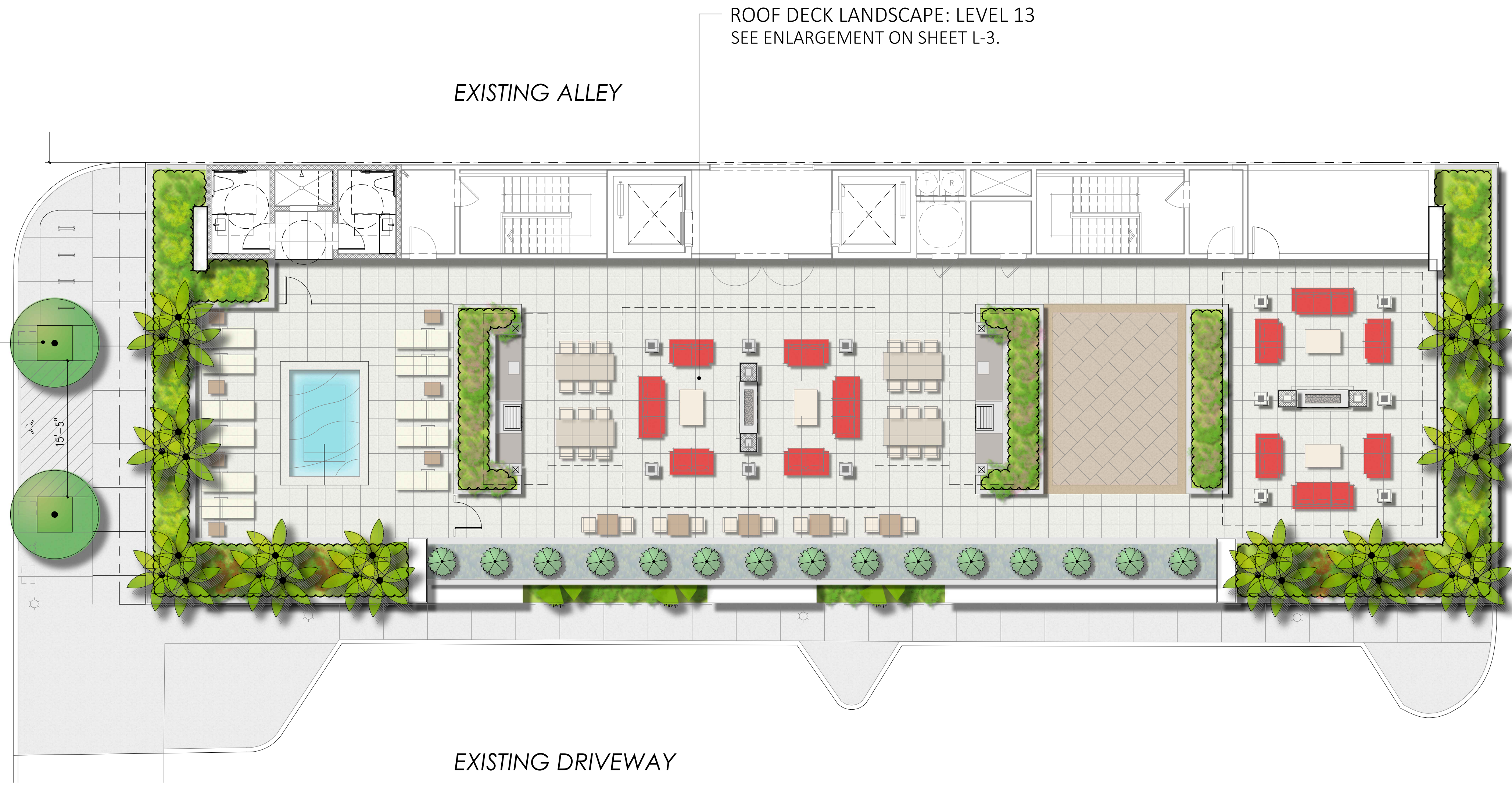
- Sheet Title :
- UNIT TYPE PLAN
 - TYPE C
 - TYPE C1
 - TYPE D
 - TYPE D1

Sheet No. :

DD-9.2

STREET LANDSCAPE: LEVEL 1
SEE ENLARGEMENT ON SHEET L-2.

HOPE STREET



ROOF DECK LANDSCAPE: LEVEL 13
SEE ENLARGEMENT ON SHEET L-3.

EXISTING ALLEY

EXISTING ALLEY

EXISTING DRIVEWAY

GENERAL NOTES:

1. ALL LANDSCAPE AREAS WILL BE IRRIGATED W/ A HIGH EFFICIENCY IRRIGATION W/ SMART IRRIGATION CONTROLS.
2. ALL PLANTING & IRRIGATION SHALL COMPLY WITH CITY OF LOS ANGELES REQUIREMENTS.
3. IRRIGATION DESIGN WILL INCORPORATE EPA WATERSENSE SPECIFICATIONS
4. STREET TREES SHALL BE SELECTED AND INSTALLED PER CITY OF LOS ANGELES DEPARTMENT OF URBAN FORESTRY.
5. ALL NEW PLANTED AREAS TO BE HEAVILY MULCHED FOR WATER CONSERVATION.
6. THERE ARE NO SIGNIFICANT TREES TO BE REMOVED ON THE SITE.
7. THERE ARE NO PROTECTED TREES ON THE SITE.

WATER CONSERVATION STATEMENT:

ALL LANDSCAPE WILL BE SPECIFIED, PLANTED & IRRIGATED ACCORDING TO XERISCAPE DESIGN PRINCIPLES WHICH INCLUDE: THE PREDOMINANT USE OF DROUGHT TOLERANT PLANT MATERIALS; THE PRACTICE OF HYDROZONING OR GROUPING PLANTS WITH SIMILAR WATER REQUIREMENTS TOGETHER; MINIMIZING TURF AREAS AND THE EFFICIENT APPLICATION OF WATER BY USING MATCH PRECIPITATION HEADS, DRIP LINE, SEPARATE VALVES FOR TURF AND GROUND COVER AREAS AND RAIN SHUT OFF DEVICES. THIS PROJECT WILL COMPLY WITH THE STATE WATER CONSERVATION ORDINANCE EFFECTIVE JANUARY 1, 2010.

STAMP

ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

NO.	DATE	DESCRIPTION
040820	SPR	Submittal

PERMIT NO:
DD SUBM. DATE: 04/13/20
BD SUBM. DATE:
PLOT DATE: 04/09/20

Project Number :
BGA No. 19036

Sheet Title :
COMPOSITE LANDSCAPE PLAN

Sheet No. :

L-1





NOTE: PLANTS SHALL BE CHOSEN FROM THE FOLLOWING LIST.
ALL PLANT TYPES MAY NOT BE SPECIFIED.

PLANT LEGEND - GROUND FLOOR	
SYMBOL	BOTANICAL NAME "COMMON NAME"
TREE - 24" BOX MIN.	
	PHOENIX ROEBELII "PYGMY DATE PALM"
SHRUBS BELOW PALMS	
	CARISSA MACROCARPA "NATAL PLUM"
	PHILODENDRON 'XANADU' "XANADU PHILODENDRON"

STAMP

ATTEST TO ARCHITECTURAL ONLY

Project :

HOTEL
1130 South Hope Street
Los Angeles, California 90015

OWNER
HOPE STREET 1, LLC
1434 East Oak Ave,
El Segundo, CA 90045

NO.	DATE	DESCRIPTION
040820	SPR	Submittal

PERMIT NO:	
DD SUBM. DATE:	04/13/20
BD SUBM. DATE:	
PLOT DATE:	04/09/20

Project Number :
BGA No. 19036

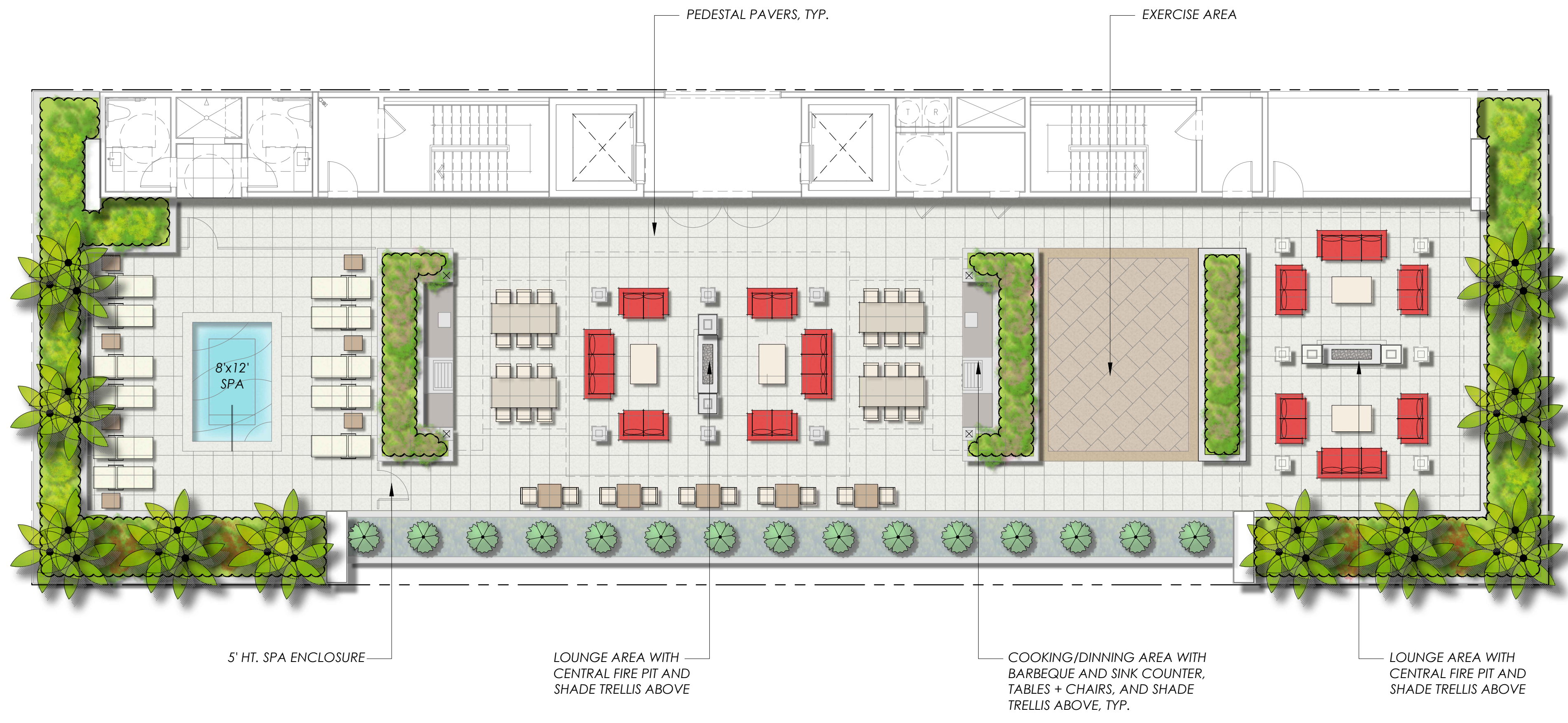
Sheet Title :

**LANDSCAPE PLAN
GROUND FLOOR**

Sheet No. :

L-2





NOTE: PLANTS SHALL BE CHOSEN FROM THE FOLLOWING LIST.
ALL PLANT TYPES MAY NOT BE SPECIFIED.

PLANT LEGEND - ROOF DECK

SYMBOL	BOTANICAL NAME "COMMON NAME"
TRIPLE TRUNK PALMS	
	ARCHONTOPHOENIX CUNNINGHAMIANA "KING PALM"
SUCCULENTS IN COBBLE MULCH	
	AGAVE VICTORIA REGINAE "QUEEN VICTORIA AGAVE"
	ALOE STRIATA "CORAL ALOE"
	ALOE SPINOSISSIMA "SPIDER ALOE"
	ECHINOCACTUS GRUSONII "GOLDEN BARREL CACTUS"
SHRUBS BELOW PALMS	
	CARISSA MACROCARPA "NATAL PLUM"
	PHILODENDRON 'XANADU' "XANADU PHILODENDRON"
	PELARGONIUM SPECIES "GERANIUM"
	ROSA SPECIES "ROSES"
	STRELITZIA REGINAE "BIRD OF PARADISE"
SHRUBS	
	CISTUS SPECIES "ROCK ROSE"
	DIETES SPECIES "FORTNIGHT LILY"
	KNIPHOFIA SPECIES "RED HOT POKER"
	SALVIA SPECIES "SAGE"

NO.	DATE	DESCRIPTION
040820	SPR	Submittal

PERMIT NO:
DD SUBM. DATE: 04/13/20
BD SUBM. DATE:
PLOT DATE: 04/09/20

Project Number:
BGA No. 19036
Sheet Title:
**LANDSCAPE PLAN
ROOF DECK**
Sheet No.:

